

**ENFIELD INLAND WETLANDS & WATERCOURSES
AGENCY**

TUESDAY, SEPTEMBER 15, 2009

*****PUBLIC HEARING, if applicable @ 7:00 P.M.*****

REGULAR MEETING - IMMEDIATELY FOLLOWING

*****COUNCIL CHAMBERS*****

**ENFIELD TOWN HALL
820 ENFIELD STREET
ENFIELD, CT 06082**

INFORMATION PACKET

***NOTE: Please bring all related materials from previous packets.
Thank you.***

AGENDA
MEETING OF THE
ENFIELD INLAND WETLANDS AND WATERCOURSES AGENCY
TUESDAY, September 15, 2009 – **7:00 pm**
REGULAR MEETING
*******Council Chambers*******
***** ENFIELD TOWN HALL *****
*** 820 ENFIELD STREET***
** ENFIELD, CT 06082 **

REGULAR MEETING

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Executive Session
(Matters regarding specific employees, pending litigation, acquisition of real estate and / or matters exempt from disclosure requirements)
5. Public Participation - Issues of concern not on the agenda
6. Correspondence
 - a. Handouts
7. Commissioner's Correspondence
 - a. Site Visit Updates
8. Approval of Minutes – August 12, 2009 & September 1, 2009
9. Wetlands Agent Report
10. Old Business
11. New Business
 - a. **IW-525 Jeffrey Bruel** – Requesting permit to conduct clearing and grading activities, some of which have already been conducted and install a perimeter fence, pool and shed on the property at 13 Louise Drive (Map 53, Lot 324, Zone R33) within the regulated area. Submitted 8/17/09, Received 9/1/09, PPE 9/15/09, **MAD 11/5/09.**
 - b. **IW-520.02 Thompsonville Fire Department** – Requesting a permit modification of IW-520 which permitted the proposed construction of the Thompsonville Fire Station which includes activities on three parcels (Map 24, Lots 97, 84, 69 and 46) fronting Prospect Street, Pearl Street and Asnuntuck Street. Submitted 8/17/09, Received 9/1/09, PPE 9/15/09, **MAD 11/5/09.**
12. New Applications to be Received
 - a. **IW-526 Stephen Cogtella** – Requesting a permit to conduct selective clearing of the bank of Freshwater Brook located on 2 South River Street (Map 8, Lot 24) within the regulated area. Submitted 9/8/09, received 9/15/09, PPE 9/29/09, **MAD 11/19/09.**
 - b. **IW-527 Hanover Hall Limited Partnership** – Requesting a permit to resubdivide the parcel located at 90 Phoenix Avenue (Map 46, Lot 37)

which involves land containing regulated area. Submitted 9/8/09, received 9/15/09, PPE 9/29/09, **MAD 11/19/09.**

13. Other Business

- a. IWWA Fines Ordinance
- b. IWWA Fee Schedule – Included as reviewed by Town Attorney.
- c. IWWA Regulation Revisions
- d. **Next regular meeting is Tuesday, September 29, 2009 at 7:00PM in the Council Chambers.**

14. Adjourn

Acronym Key for Dates:

Submitted	= Day it was Logged in by the Appropriate Town Office.
Rec'd	= Received (Date of First Regular Meeting after the day of submission or 35 days, which ever is sooner)
PPE	= Petition Period Ends (14 Days from Receipt)
MAD	= Mandatory Action Date (65 Days from Receipt)
EMAD	= Extended Mandatory Action Date (Any combination up to 65 days from original MAD)
MPHCD	= Mandatory Public Hearing Closing Date (35 Days from opening of the public hearing)
EMPHCD	= Extended Mandatory Public Hearing Closing Date (Any combination up to 65 Days from first MPHCD)
MPHAD	= Mandatory Public Hearing Action Date (35 Days after close of the public hearing)
EMPHAD	= Extended Mandatory Public Hearing Action Date (Any combination up to 65 Days from first MPHAD)

*Applicant can consent to extend the time frame for any of the steps but the total of all extensions together cannot exceed 65 days

Inland Wetlands and Watercourses Meeting
INLAND WETLANDS AND WATERCOURSES AGENCY
MINUTES OF A REGULAR MEETING
TUESDAY, September 1, 2009

A Regular Meeting of the Enfield Inland Wetlands and Watercourses Agency was held on Tuesday, September 1, 2009 in the Council Chambers, Enfield Town Hall, 820 Enfield Street, Enfield, Connecticut.

MEMBERS PRESENT: Karen Camidge
 Jake Keller
 Jo-Marie Nelson
 Robert Lemay
 Brian Peruta
 Patrick Szczesiul, Alternate (seated)

MEMBERS ABSENT: Douglas Maxellon, Chairman
 Robie Staples
 Michael Littlejohn, Alternate

ALSO PRESENT: Katie Bednaz, Wetlands Agent
 Susan Berube, Recording Secretary

REGULAR MEETING

1. Call to Order: The meeting was called to order by Vice Chairperson Karen Camidge at 7:00 p.m.

2. Roll Call: Present were: Vice Chairperson Karen Camidge and Agents Keller, Lemay, Nelson, Peruta and Szczesiul (alternate). Also present were Ms. Katie Bednaz, Wetlands Agent and Susan Berube, Recording Secretary.

3. Pledge of Allegiance: The Pledge of Allegiance was recited.

4. Executive Session
(Matters regarding specific employees, pending litigation, acquisition of real estate and / or matters exempt from disclosure requirements): None.

5. Public Participation - Issues of concern not on the agenda: None.

6. Correspondence

a. Handouts

- i. Pervious concrete and asphalt – three pages
- ii. Consulting Services Brochure

iii. Zero-emissions turf control

7. Commissioner's Correspondence

a. Site Visit Updates: Brief updates were given by Agency members. Agent Nelson stated that she visited 2 sites – Play Road where a large amount of fill has been brought in. She also visited 604 Enfield Street, which is also progressing.

Agent Lemay reported that his sites are not active.

Agent Keller reported that all seems to be in order at the new house construction site on Moody Road.

He also noted that the "Five Guys" restaurant site on Elm Street is being cleared. Silt fence has been installed.

He, too, visited Play Road over the weekend and noted that the rip rap has been installed and the orange fence seems to be o.k.

There has been no new activity at the PetSmart site on Hazard Avenue.

Agent Peruta asked how far down Play Road has the silt fence been repaired.

Ms. Bednaz responded that the catch basin has been raised 9' in height and is now at a 3:1 slope. Because of the change in grade, it is likely that there will not be enough funding to fill the slopes any further down the road. Temporary controls will be used to stabilize the slopes as much as possible to keep it from slumping into the newly repaired channel.

The project will continue as funds become available.

Agent Peruta wondered if "floc logs" would be appropriate to help clear the water in the channel.

Ms. Bednaz explained that this product is usually used for short term projects.

Agent Peruta noted that the entire channel is a "mess" all the way to the river.

Ms. Bednaz stated that she will check with the Town's engineer at Agent Peruta's request, regarding use of a stand pipe. She reiterated that the entire project is subject to funding availability.

Ms. Bednaz provided a brief update on the Meadowlark/Yale Drive project. She stated that they are now working on the 2nd side of the road.

She also stated that the stockpile of soil located there is being used to loam

the finished areas. It will be spread and seeded.

8. Approval of Minutes –July 21, 2009 & August 12, 2009:

A motion was made by Agent Nelson and seconded by Agent Keller to approve the minutes of the meeting of July 21, 2009 as presented. Vote was 6-0-0.

Agent Nelson asked about current application fees, wondering how Agency members can know what the application fee is. She referred to statements made on page 8 of the minutes of 07/21/09.

Ms. Bednaz replied that currently, a member would have to check the regulations, which show the base fee, plus the State's non-refundable fee of \$30.

She added that the new application currently under review by the Agency will have the fee amounts included on it.

A motion was made by Agent Nelson and seconded by Agent to table the vote on the minutes of the meeting of August 12, 2009. Vote was 6-0-0.

9. Wetlands Agent Report: Ms. Bednaz briefly reviewed her report of site visits and Authorized Agent approvals:

- The last drainage pipe has been installed at 50/52 Steele Road; the Town Council will vote Tuesday on the conservation and drainage easements.
- The controls are up and working at the Yankee Castings property.
- Extra clearing has taken place on the west side, at the adjacent owner's request at 5 Guys Burgers & Fries on Elm Street. The PZC may have issue with this; otherwise the project is starting to move along.
- The parking lot at the Montessori School on Enfield Street is moving quickly. It is located beyond the 100' upland review area.
- There are beaver issues at private property located at 31-35 Betty Road. A drain structure there has a cage over the inlet. The owners of the properties have been clearing the inlet of debris to keep the water flow open; Ms. Bednaz suggests that they stop doing so in the hope that the water will find a level acceptable to the beavers, without causing property damage. Currently, there are no issues; Ms. Bednaz will be checking it often.
- Yard waste was found by the wetland located at Peerless Tools and Machine at 5 Peerless Way. There is an accumulation of approximately

10 years of debris. Ms. Bednaz has asked the owners to remove what they are able to and not add any additional yard waste. The site is very limited for on site disposal of yard waste.

- The projects at Cherry Wood Subdivision (off of Laughlin Rd.) and Karios Properties at 151-155 Hazard Ave. are moving along. No issues.
- Soil testing is taking place at the site of Old Fox Fertilizer plant on Shaker Road, across from Yankee Castings. Ms. Bednaz was told that there would be minimal disturbance so a permit was not required.
- However, she found out later that a bulldozer, not an auger, was being used. She will be visiting the site on September 2, 2009; a permit may now be required.

In response to a question by Agent Peruta, Ms. Bednaz stated that she has no update on the culvert issue on Post Office Road. She believes it may be in litigation.

She also noted that the Public Works Department has not yet submitted a list of properties/sites to be included in a permit for catch basin/culvert cleaning.

Authorized Agent approvals were given for the following:

- 45 West View Drive for a 15x25' above ground pool, reconstruct and add to current deck and pool deck.
- 54 West Shore Drive to remove multiple trees, enlarge existing deck, install underground propane tank and electrical service, add 2nd floor addition and landscaping.
- 23 Pheasant Hill Drive to construct 10x12' sunroom on existing deck.

Ms. Bednaz also noted that construction activities will be starting soon at Enfield Medical Building on Hazard Ave/Middle Road.

Ms. Bednaz also provided written highlights of a public information meeting held on August 19, 2009 regarding the CT River Access Project – HP Project No. 1131. Three options were presented – no decision has been made.

10. Old Business: None.

11. New Business: None.

12. New Applications to be Received

a. **IW-525 Jeffrey Bruel** – Requesting permit to conduct clearing and grading activities, some of which have already been conducted and install a

perimeter fence, pool and shed on the property at 13 Louise Drive (Map 53, Lot 324, Zone R33) within the regulated area. Submitted 8/17/09, Received 9/1/09, PPE 9/15/09, **MAD 11/5/09**: Mr. Jeffrey Bruel represented the applicant.

He explained that he has already removed a few trees that were damaged by ants. He would like to replace them with 3 to 5 trees in the rear left corner of the property.

He would also like to put a shed, approximately 8'x10', on the rear right corner and an above ground pool, no larger than 27' diameter right off of the existing deck as well as a perimeter fence around the property.

He would also like to have the rear yard graded, right to left for drainage issues.

Ms. Bednaz explained that she was alerted to the project by a neighbor of the site.

From her observation, the trees that were removed did have ant damage. The wood chips were removed from the property.

She went on to say that the neighbors have clear yards as well; one of them has a few more trees. Both neighbors have pools.

Approximately 10' of the wetland has been cleared and will be replanted with native species, subject to Ms. Bednaz's approval.

There is a wetland in the middle of the back yard, void of vegetation. It is apparently a settling area for water. The topo plans in the Town Engineer's office show an easement there. There is no yard drain seen, although the Engineer's plans show that there was supposed to be a drain.

It does not have the characteristics of a good quality wetland and the area was planned to be a drainage area, but not a wetland.

Ms. Bednaz stated that she is working with the applicant to preserve the important areas and protect the more valuable wetland in the rear, as well as make the yard similar to the neighbors'.

Work will take place over the duration of the 5 year permit, as funds allow.

The fence will be raised at the rear of the property to allow for water drainage and wildlife/amphibian traffic. Mr. Bruel will work with Ms. Bednaz regarding the materials of the fence.

Agent Bednaz asked if water will be directed to the neighboring property.

Ms. Bednaz stated that the applicant is aware that he cannot do that.

b. IW – 520.02 Thompsonville Fire Department – Requesting a permit modification of IW-520 which permitted the proposed construction of the Thompsonville Fire Station which includes activities on three parcels (Map 24, Lots 97, 84, 69 and 46) fronting Prospect Street, Pearl Street and Asnuntuck Street. Submitted 8/17/09, Received 9/1/09, PPE 9/15/09, **MAD 11/5/09**. Roger Kellnan of HA Hesketh and Fire Chief Alaimo represented the applicant.

Chief Alaimo explained that the voters recently rejected the original plans due to budget concerns.

The modified plans were reviewed by Ms. Bednaz. Chairman Maxellon felt that the modifications were significant enough to be reviewed by the Agency.

There has been a \$750,000 reduction in costs through the modifications. The applicant is still working with FEMA for funding.

Mr. Kellnan reviewed the site plan changes relating to the IWWA.

There has been a slight reduction in size – approximately 300 square feet; the retaining wall in the back has been eliminated and the area re-graded; The sidewalk has been eliminated and the handicap parking has been relocated, eliminating approximately 1,000 square feet of impervious surface.

Curbs will now be of bituminous material.

Shrubs, trees, and some plantings have been removed. The area will now be all grass. Some areas of mulch have been added that were not shown on the original plans.

The infiltration system will now be composed of regular seeded grass, instead of an alternate material.

The 3,000 square feet of "green roof" has been replaced with traditional roofing materials.

The removal of the retaining wall will require grading against the building and reinforcement of that wall.

The drainage has been modified. It is now located closer to the building with a small swale. Approximately 80' of infiltration drain has been eliminated, because of the proximity of the drainage to the building.

Most of the site is beyond the 100' upland review area.

Most of the water quality controls have been retained. There will be green

areas and a new hydro-dynamic separator installed, as well as hood traps on the existing catch basins.

Mr. Kellnan noted that the existing fire department building has very little in the way of water quality controls.

Mr. Kellnan went on to explain that the changes in the plans equate to a very minor effect on the watershed area.

The additional 2,000 square feet of impervious surface will bring an increase of .25 cfs or .03% additional quantity of water flowing into Freshwater Brook. Mr. Kellnan felt this amount is inconsequential, given the 11 square mile watershed for the brook.

Ms. Bednaz stated that she will review the plans in detail within the next week.

She went on to state that the green roof was the most costly item on the mitigation list.

She added that she feels that the modified infiltration system is fine.

Her only concern is for the landscaping. Trees and shrubs absorb a lot of water.

Otherwise, she sees no major issues with the modifications.

Agent Peruta stated that he appreciates the details on the plans. He asked for an explanation on the details of the sewer pipe.

Mr. Kellnan and Chief Alaimo explained that there is an existing sewer pipe running through the property. There is concern over potential impact to the pipe. The pipe is approximately 17' deep and the building has been moved 5' further from the pipe. The area will be excavated down to the pipe, cleaning will take place around it, and concrete will be poured around the pipe to further protect it. This has been approved by the WPCA. There is no reason to believe that there will be issues with the pipe.

Agent Szczesiul expressed his concern over the lack of trees and landscaping – both for water absorption and aesthetics.

Chief Alaimo replied that the applicant hopes to add landscaping and trees when funds become available. The FEMA grant does not include funds for landscaping.

Agent Nelson asked if adding shrubs would make much of a difference.

Ms. Bednaz replied that it is a tight area. Most of the site will be impervious.

It would be of minimal benefit for water quality. Also, the PZC may have comment on this.

Agent Keller asked for detail on the removal of the retaining wall.

Mr. Kellnan explained that there will be a 3:1 slope towards the building. The swale will pitch away from the building. The building will have to be designed to hold the slope.

Agent Camidge, quoting from the IWWA meeting minutes of 05/09/09 noted that 3,800 square feet of infiltration had been presented. Has that number changed?

Mr. Kellnan replied that it has. Regular grass will now be used, not synthetic and there will now be 3,000 square feet of infiltration area, not the original 3,800.

The new calculations have not been reviewed by the Town's Engineer, but Mr. Kellnan will submit them for review.

Ms. Bednaz, reading from his email, noted that Mr. Cabibbo is still reviewing the modifications but the drainage doesn't seem to be significantly changed.

In response to a question by Agent Peruta, Mr. Kellnan stated that the site has little room for a stockpile. He doesn't anticipate any stockpiling, other than perhaps a small pile of stone.

In answer to another question, Mr. Kellnan stated that no erosion controls are provided for the east and west sides because no work will take place in those areas.

Mr. Kellnan and Chief Alaimo also explained that the 1,500 gallon oil/grit separator is for the indoor washing of the vehicles. That water is allowed to enter the sanitary sewer system.

There will be a small grease trap in the kitchen area.

Chemicals are not put into the truck tanks to protect them, since they are of a poly material.

Ms. Bednaz noted that the original condition of approval #19 states that standard operating procedures need to be submitted and can be reviewed by Agency members.

Agent Peruta stated that he would prefer to see more pervious surface.

Chief Alaimo replied that the project will not really change current conditions. It is a small lot and already mostly developed.

Ms. Bednaz stated that it is likely that only original condition of approval #22 will need to be eliminated.

Agent Peruta also stated that he would like to see what the WPCA had to say about the sewer pipe.

Ms. Bednaz will research this and. Mr. Kellnan stated that he will submit the email he received pertaining to this.

13. Other Business

a. IWWA Bylaws – Included as approved by IWWA.

Ms. Bednaz requested that she be informed of any errors are found in the bylaws.

b. IWWA Fines Ordinance

c. IWWA Fee Schedule – Included as reviewed by Town Attorney.

d. IWWA Regulation Revisions

Ms. Bednaz explained that the revisions need to be finalized so that the new application fees, hiring of consultants, and new state wildlife regulations will be included. These revisions require only a public hearing, not Town Council approval.

The fines ordinance can be reviewed once the regulations are complete. The ordinance will need to be approved by the Town Council.

She noted that the revised application has been reviewed by the Town Attorney.

It was noted that although the proposed fees are 150% increase, they are still less expensive than neighboring towns.

A motion was made by Agent Nelson and seconded by Agent Lemay to continue discussion of items 13b, c and d to the special meeting, tentatively scheduled for October 6, 2009. Vote was 6-0-0.

e. Next regular meeting is Tuesday, September 15, 2009 at 7:00PM in the Council Chambers.

14. Adjourn: A motion was made by Agent Szczesiul and seconded by Agent Nelson to adjourn the meeting at 8:28 p.m. Vote was 6-0-0.

Respectfully Submitted,

Jo-Marie Nelson, Secretary

DRAFT WETLANDS PERMIT #IW-525

September 16, 2009

Jeffrey Bruel
13 Louise Drive
Enfield, CT 06082

Dear Mr. Bruel,

At a regular meeting held September 15, 2009, the Enfield Inland Wetlands and Watercourses Agency took the following action:

IW-525 Jeffrey Bruel – Requesting permit to conduct clearing and grading activities, some of which have already been conducted and install a perimeter fence, pool and shed on the property at 13 Louise Drive (Map 53, Lot 324, Zone R33) within the regulated area. **Approved with conditions.**

The permit is issued subject to the following conditions of approval.

STANDARD CONDITIONS

Prior to the start of construction:

1. The Inland Wetlands and Watercourses Agency or its designated Agent must be notified in writing within two business days of the commencement of permitted activities, and upon completion of said activities; a "business day" is a day when the Town Hall is open for business;
2. The permittee/contractor shall schedule a pre-construction meeting with the Inland Wetlands Agent to be held no sooner than two weeks before the regulated activities are to begin. The permittee shall, at that time, review with the Inland Wetlands Agent, the procedures to be taken to protect the regulated areas prior to and during construction;

General Conditions of Approval:

3. This permit shall be valid for 5 years from the date of approval unless otherwise revoked or specifically extended;
4. All work and all regulated activities conducted pursuant to this permit shall be consistent with these terms and conditions hereof. Any structures, excavation, fill, obstruction, encroachments or regulated activities not specifically identified and authorized herein shall constitute a violation of this permit and may result in its modification, suspension, or revocation. Upon initiation of the activities authorized herein, the permittee thereby accepts and agrees to comply with the terms and conditions hereof;
5. This permit is not transferable without the written consent of the Enfield Inland Wetlands and Watercourses Agency **or its designated Agent;**

6. In issuing this permit, the Agency has relied on information provided by the applicant and, if such information subsequently proves to be false, deceptive, incomplete and/or inaccurate this permit shall be modified, suspended or revoked;
7. This permit shall be made a part of all construction contracts and sub-contracts pertaining to the proposed regulated activities and shall supersede all other contract requirements;
8. The permittee shall permit the Agency, its authorized representative(s) or designee(s) to make periodic inspections at any time deemed necessary in order to assure that the activity being performed under authority of this permit is in accordance with the terms and conditions prescribed herein;
9. No equipment or material including without limitation, fill, construction materials, or debris, shall be deposited, placed, or stored in any wetland or watercourse on or off site unless specifically authorized by this permit;
10. This permit is subject to and does not derogate any present or future property rights or other rights or powers of the Town of Enfield, and conveys no property rights or in real estate of material nor any exclusive privileges, and is further subject to any and all public and private rights and to any activity affected hereby;
11. Prior to the start of construction, adequate erosion and sedimentation control measures shall be implemented, and shall be maintained throughout the entire construction phase and shall meet or exceed the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control, as revised, until the site has become stabilized with permanent vegetative cover. The construction site shall be left in a stable condition at the close of each day. An adequate stockpile of erosion control materials shall be on site at all times for emergency or routine replacement and shall include materials to repair silt fences, haybales, mulch, stone-riprap filter dikes or any other devices planned for use during construction. Additional erosion/stormwater control measures are to be installed as directed by the Inland Wetland Agency, its authorized representative(s) or designee(s) if field conditions necessitate. The permittee shall immediately inform the Department of Planning and Community Development of any problems involving wetlands or watercourses which have developed in the course of, or which are caused by, the authorized work;
12. All temporary barriers, including erosion and sedimentation controls are to be removed when the site is stabilized in suitable weather conditions. The site is considered stabilized when there is equal to or greater than 70% vegetative cover;
13. With the exception of the addition of the items stated in these conditions, this application is approved in accordance with the plans entitled:

- Hand drawn by the applicant dated August 17, 2009.

Any changes that would potentially cause greater impact to wetlands or watercourses, such as enlargement of the area of disturbance or reorientation of building footprints, from the plans shall require the permittee to come before the Enfield Inland Wetlands and Watercourses Agency for a Determination of Permit Need (Jurisdictional Ruling) or Permit Modification;

14. The Inland Wetlands and Watercourses Permit number shall be located on all future plans to any Town or State Agency.

Special Conditions of Approval:

15. The proposed above ground pool, shed and fencing details have not yet been determined. When the size, type and location of said structures are determined by the applicant, they must first be submitted to the IWWA Agent for review and approval before they are installed. All correspondence must be in writing. The proposed fencing shall allow for stormwater to continually flow from the subject property to the drainage ditch to the north and the wetland located in the northeast corner of the property. In addition, the fencing shall provide sufficient clearance so that it does not prohibit wildlife from migrating to and from the wetland located on the northeast of the property.
16. The number and species of trees and shrubs to be planted within the wetland and Upland Review Area are not currently specified. The number of and species to be planted shall be reviewed and approved by the IWWA Agent prior to installation. All correspondence must be in writing.
17. Final grades shall direct stormwater flows to the drainage easement located to the north of the subject property, between 11 and 13 Louise Drive and not onto any neighboring properties.
18. The 25 foot wetland buffer shown on the plans shall remain in a natural state and not maintained to protect and enhance the wetland resource area.
19. Erosion controls shall be installed between activities that cause soil disturbance and the wetland located at the northeast corner of the property. In addition, controls shall be installed to prevent sediment from migrating into the drainage easement.

NOTE: This permit does not relieve the applicant from his responsibility to apply for any other permits required by local, state or federal agencies.

This authorization constitutes the permit required by Section 22a-39 of the Connecticut General Statutes. The decision legal notice will be published in the Journal Inquirer on **XXXXXX**. Please note that the appeal period (15 days) begins as of the date of publication in accordance with Section 8-8 of the State Statutes.

Issuance of the Inland Wetlands and Watercourses permit does not abrogate the responsibility to obtain permits that may be necessary from other agencies at the local, state or federal level prior to commencing your project.

Please ensure you review the conditions of approval thoroughly and note that **a pre-construction meeting is required as per condition #3, prior to commencement of any activity on site**. If you have any questions, please feel free to contact me at 253-6358. Office hours are 9:00 AM to 5:00 PM, Monday through Friday. Voice mail is available after business hours.

Sincerely,

Katie A. Bednaz
Assistant Town Planner/Wetlands Agent

cc: File IW#525 & Jose Giner, Town Planner

DRAFT WETLANDS PERMIT #IW-520.02

September 16, 2009

Thompsonville Fire Department
11 Pearl Street
Enfield, Ct 06082

Dear Thompsonville Fire Department,

At a regular meeting held September 15, 2009, the Enfield Inland Wetlands and Watercourses Agency took the following action:

IW – 520.02 Thompsonville Fire Department – Requesting a permit modification of IW-520 which permitted the proposed construction of the Thompsonville Fire Station which includes activities on three parcels (Map 24, Lots 97, 84, 69 and 46) fronting Prospect Street, Pearl Street and Asnuntuck Street.
Approved with conditions.

The permit is issued subject to the following conditions of approval:

STANDARD CONDITIONS

Prior to the start of construction:

1. The Inland Wetlands and Watercourses Agency or its designated Agent must be notified in writing within two business days of the commencement of permitted activities, and upon completion of said activities; a “business day” is a day when the Town Hall is open for business.
2. Prior to the start of construction or, if applicable, the issuance of a building permit the half-sized (approximately 11” x 17”) plans as approved by the Agency and the Planning and Zoning Commission shall be submitted to the Inland Wetlands Agent;
3. The permittee/contractor shall schedule a pre-construction meeting with the Inland Wetlands Agent to be held no sooner than two weeks before the regulated activities are to begin. The permittee shall, at that time, review with the Inland Wetlands Agent, the procedures to be taken to protect the regulated areas prior to and during construction;
4. Prior to the start of work, the permittee shall submit an electronic copy of the existing conditions plan that shows the wetland boundary in accordance with the “Town of Enfield, CT Geographic Information Systems Electronic Submittals Ordinance.”

General Conditions of Approval:

5. This permit shall be valid for 5 years from the date of approval unless otherwise revoked or specifically extended;

6. All work and all regulated activities conducted pursuant to this permit shall be consistent with these terms and conditions hereof. Any structures, excavation, fill, obstruction, encroachments or regulated activities not specifically identified and authorized herein shall constitute a violation of this permit and may result in its modification, suspension, or revocation. Upon initiation of the activities authorized herein, the permittee thereby accepts and agrees to comply with the terms and conditions hereof;
7. This permit is not transferable without the written consent of the Enfield Inland Wetlands and Watercourses Agency;
8. In issuing this permit, the Agency has relied on information provided by the applicant and, if such information subsequently proves to be false, deceptive, incomplete and/or inaccurate this permit shall be modified, suspended or revoked;
9. This permit shall be made a part of all construction contracts and sub-contracts pertaining to the proposed regulated activities and shall supersede all other contract requirements;
10. The permittee shall permit the Agency, its authorized representative(s) or designee(s) to make periodic inspections at any time deemed necessary in order to assure that the activity being performed under authority of this permit is in accordance with the terms and conditions prescribed herein;
11. No equipment or material including without limitation, fill, construction materials, or debris, shall be deposited, placed, or stored in any wetland or watercourse on or off site unless specifically authorized by this permit;
12. This permit is subject to and does not derogate any present or future property rights or other rights or powers of the Town of Enfield, and conveys no property rights or in real estate of material nor any exclusive privileges, and is further subject to any and all public and private rights and to any activity affected hereby;
13. Prior to the start of construction, adequate erosion and sedimentation control measures shall be implemented, and shall be maintained throughout the entire construction phase and shall meet or exceed the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control, as revised, until the site has become stabilized with permanent vegetative cover. The construction site shall be left in a stable condition at the close of each day. An adequate stockpile of erosion control materials shall be on site at all times for emergency or routine replacement and shall include materials to repair silt fences, haybales, mulch, stone-riprap filter dikes or any other devices planned for use during construction. Additional erosion/stormwater control measures are to be installed as directed by the Inland Wetland Agency, its authorized representative(s) or designee(s) if field conditions necessitate. The permittee shall immediately inform the Department of Planning and Community Development of any problems involving wetlands or watercourses which have developed in the course of, or which are caused by, the authorized work;
14. All temporary barriers, including erosion and sedimentation controls are to be removed upon completion of the project in suitable weather conditions;
15. With the exception of the addition of the items stated in these conditions, this application is approved in accordance with the plans entitled:
 - "New Fire Station Thompsonville Fire Department, Pearl, Prospect & Asnuntuck Streets, Enfield, CT, Special Permit, Site Plan Approval & Inland

Wetlands Permit Submission” dated and revised as listed below. Prepared by F.A. Hesketh & Associates, Inc., prepared for Thomposnville Fire Department, Enfield, CT. The following is a List of Drawings:

- CA-1 Title Sheet, dated 7/24/09
- LA-1 Title Sheet, dated 4/9/09, revised to 7/24/09
- LS-1 Layout Plan, dated 4/9/09, revised to 7/24/09
- GR-1 Landscape Plan, dated 4/9/09, revised to 7/24/09
- UT-1 Grading and Erosion & Sedimentation Control Plan, dated 4/9/09, revised to 9/9/09
- SD-1 Site Details, dated 4/9/09, revised to 7/1/09
- SD-2 Site Details, dated 4/9/09, revised to 7/24/09
- SD-3 Site Details, dated 4/9/09, revised to 7/24/09
- SD-4 Site Details, dated 4/9/09, revised to 7/1/09
- SD-5 Site Details, dated 4/9/09, revised to 8/24/09
- NT-1 Notes, dated 4/9/09, revised to 7/24/09
- 1 Property Survey, dated 4/9/09, revised to 5/27/09
- A1.1-Main Floor Plan, dated 6/30/09, revised to 7/23/09
- A2.1-East & North Elevations, dated 6/30/09, revised to 7/23/09
- A2.2-West & South Elevations, dated 5/28/09, revised to 7/23/09
- A2.3-East & North Elevations, dated 5/28/09, revised to 7/23/09

Any changes that would potentially cause greater impact to wetlands or watercourses, such as enlargement of the area of disturbance or reorientation of building footprints, from the plans shall require the permittee to come before the Enfield Inland Wetlands and Watercourses Agency for a Determination of Permit Need (Jurisdictional Ruling) or Permit Modification.

16. A copy of the As-Built plan with the topography certified to T2 accuracy shall be submitted to the Agency upon completion of the project to ensure compliance with this approval. In addition an electronic copy of the As-Built plan shall be submitted in accordance with the “Town of Enfield, CT Geographic Information Systems Electronic Submittals Ordinance”.

Special Conditions of Approval:

17. Any dewatering during excavation shall pass through the appropriate filtration system prior to discharging off-site or to any regulated area. The use of filtered sumps, and crushed stone wrapped in filter fabric and stilling basins should be used to minimize the silt and soil fined transport.
18. The Inland Wetlands and Watercourses Permit number shall be located on all future plans to any Town or State Agency.
19. The Standard Operating Procedures for the facility shall be presented for review and approval by the Agency or its Staff prior to the Certificate of Occupancy being issued.
20. All erosion controls shall be installed prior to demolition and construction activities commencing.
21. The Phase 1 Environmental Site Assessment which is anticipated to be completed for the site prior to construction shall be submitted to the Agency or its designated representative prior to the start of construction.

NOTE: This permit does not relieve the applicant from his responsibility to apply for any other permits required by local, state or federal agencies.

This authorization constitutes the permit required by Section 22a-39 of the Connecticut General Statutes. The decision legal notice will be published in the Journal Inquirer on **Wednesday May 13, 2009**. Please note that the appeal period (15 days) begins as of the date of publication in accordance with Section 8-8 of the State Statutes.

Issuance of the Inland Wetlands and Watercourses permit does not abrogate the responsibility to obtain permits that may be necessary from other agencies at the local, state or federal level prior to commencing your project.

Please ensure you review the conditions of approval thoroughly and note that **a pre-construction meeting is required as per condition #3, prior to commencement of any activity on site.** If you have any questions, please feel free to contact me at 253-6358. Office hours are 9:00 AM to 5:00 PM, Monday through Friday. Voice mail is available after business hours.

Sincerely,

Katie A. Bednaz
Assistant Town Planner/Wetlands Agent

cc: File IW#520
Jose Giner, Director of Planning and Development

Bednaz, Katie

From: Bednaz, Katie
Sent: Tuesday, September 08, 2009 10:52 AM
To: Cabibbo, John; 'David S. Ziaks'
Cc: Giner, Jose
Subject: FW: T-ville fire station

John and Dave,

Please see the email correspondence from Agent Peruta below.

Dave, Roger (who I do not have an email for) from your office at the last IWWA meeting stated that he would supply the information requested below. Dave, I will be forwarding you the comments we have received from engineering so far.

John, is this endorsement something you can prepare or has it already been as part of the PZC process? Please let me know if there are any issues with you fulfilling this request. As for the question regarding impervious surfaces, this is something we discussed that you could put into writing for the Agency. Including, how you evaluate water quality since quantity is based mostly on coverage requirements in this location.

Thank you,

Katie Bednaz

Certified PWS & Registered Soil Scientist

Assistant Planner / Wetlands Agent

Enfield Town Hall

820 Enfield Street

Enfield, CT 06082

Phone: (860) 253-6358

Fax: (860) 253-4729

From: Brian Peruta [mailto:brianhp@cox.net]
Sent: Monday, September 07, 2009 7:24 PM
To: Bednaz, Katie
Cc: doug@ecincorporated.com
Subject: T-ville fire station

For the applicants, I wanted to ensure they remembered what I was looking for in the next meeting. I asked for the signoff from WPC and from Engineering on the sewer pipe plan they have for their proposed plan. From a WPC perspective, I am looking for an acknowledgement in writing that they've reviewed the plans and they endorse the plans for the sanitary sewer pipe.

From Engineering, I am looking for a more formal signoff that they have reviewed the plan for the sanitary sewer plan and that they endorse the plan.

The sewer pipe worries me the most.

As an aside, and I will bring the up at the next meeting, there is a letter in the packet from Engineering that the addition of impervious surface is not a concern for them. For the Eppendorf application, the addition of 1000 sq feet of impervious surface was a concern. What is the difference between the 2?

Brian

9/8/2009

IW 520.02

Bednaz, Katie

From: Roger Kellman, P.E. [rkellman@fahesketh.com]
Sent: Wednesday, September 09, 2009 10:19 AM
To: Bednaz, Katie
Cc: 'David S. Ziaks'
Subject: Thompsonville Fire Station sanitary sewer

Hi Katie:

Following site plan application approvals from both the IWWC and TPZ Commissions, this issue was reviewed by us in detail with WPCA staff and a construction detail for protection of the sewer was developed and approved by WPCA and has been added to the plans (per the July 10 e-mail). I do not believe the Town Engineering office commented on the issue because the town's sanitary sewer system is traditionally considered the responsibility of the WPCA.

With regard to the current application before the IWWC, there are no proposed modifications to the previously approved site plan that would modify or otherwise further affect the sanitary sewer, so there does not appear to be any reason to re-visit this issue.

Thank you,

Roger

Roger Kellman, P.E.
F. A. Hesketh & Assoc., Inc.
6 Creamery Brook
East Granby, CT 06026
860-653-8000 ext 19
860-844-8600 Fax
rkellman@fahesketh.com

From: Bednaz, Katie [mailto:kbednaz@enfield.org]
Sent: Tuesday, September 08, 2009 6:32 PM
To: Roger Kellman, P.E.
Cc: Cabibbo, John; Giner, Jose; Serra, Marvin; Parisi, Daniel
Subject: RE: thompsonville Fire Station sanitary sewer

Roger,

Do you have correspondence (from the initial review) from Engineering also?

If I remember correctly, Agent Peruta expressed concern that if the sewer main was not properly protected the risk was it breaking and potentially impacting the resource area. This is how it is considered a wetlands matter. I recommend that you submit any information that you have that demonstrates that this issue has been resolved.

Thank you,

Katie Bednaz
Certified PWS & Registered Soil Scientist
Assistant Planner / Wetlands Agent
Enfield Town Hall
820 Enfield Street
9/9/2009

Enfield, CT 06082

Phone: (860) 253-6358

Fax: (860) 253-4729

From: Roger Kellman, P.E. [mailto:rkellman@fahesketh.com]
Sent: Tuesday, September 08, 2009 5:08 PM
To: Bednaz, Katie
Cc: 'David S. Ziaks'
Subject: thompsonville Fire Station sanitary sewer

Katie:

Below is the e-mail we received from the WPCA. As far as we knew that resolved the issue. We did not think this was a wetlands matter.

Roger

Roger Kellman, P.E.
F. A. Hesketh & Assoc., Inc.
6 Creamery Brook
East Granby, CT 06026
860-653-8000 ext 19
860-844-8600 Fax
rkellman@fahesketh.com

From: Parisi, Daniel [mailto:dparisi@enfield.org]
Sent: Friday, July 10, 2009 8:03 AM
To: Roger Kellman, P.E.
Cc: Serra, Marvin
Subject: RE: thompsonville Fire Station sanitary sewer

Good Morning Roger,

Per my conversation with Marvin Serra, the Superintendent of Water Pollution Control, this morning the detail as show in the Sewer Protection PDF is acceptable to the WPC.

DANIEL PARISI
TOWN OF ENFIELD WPC
ENGINEERING TECH 2
860-253-5246

From: Roger Kellman, P.E. [mailto:rkellman@fahesketh.com]
Sent: Monday, July 06, 2009 11:52 AM
To: Parisi, Daniel
Subject: FW: thompsonville Fire Station sanitary sewer

9/9/2009

From: Roger Kellman, P.E. [mailto:rkellman@fahesketh.com]
Sent: Wednesday, July 01, 2009 10:25 AM
To: 'mserra@enfield.org'; 'dparise@enfield.org'
Cc: 'David S. Ziaks'
Subject: thompsonville Fire Station sanitary sewer

Marvin and Dan:

Please review the attached detail for the protection of the existing sanitary sewer adjacent to the proposed fire station.

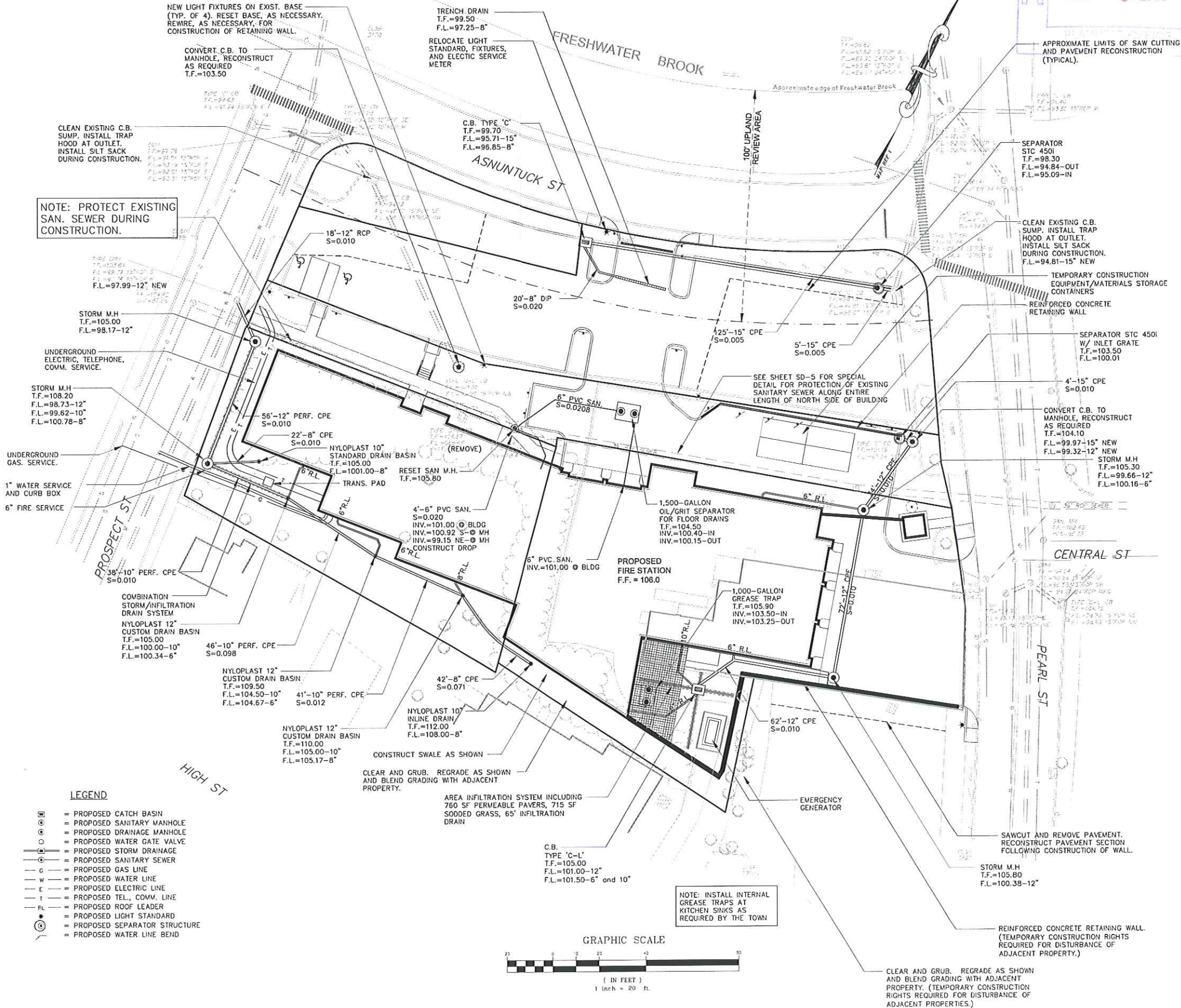
Roger

Roger Kellman, P.E.
F. A. Hesketh & Assoc., Inc.
6 Creamery Brook
East Granby, CT 06026
860-653-8000 ext 19
860-844-8600 Fax
rkellman@fahesketh.com

9/9/2009

UTILITY NOTES:

1. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND ARE BASED ON AVAILABLE AS-BUILT INFORMATION FROM UTILITY COMPANY RECORDS, THE PROPERTY OWNER, AND LIMITED SURVEY DATA. ALL EXISTING UTILITIES MAY NOT BE SHOWN AND THOSE SHOWN MAY NOT BE ACCURATE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES ON THE SITE PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY AND NOTIFYING THE DESIGN SITE ENGINEER OF POTENTIAL CONFLICTS WITH PROPOSED ALIGNMENT AND GRADE AND/OR ANY ADJUSTMENTS TO THE PLANS WHICH ARE NECESSARY. TEST PITS WILL BE REQUIRED AT ALL PROPOSED UTILITY CROSSINGS IN ORDER TO DETERMINE UNDERGROUND UTILITY LOCATIONS AND TO IDENTIFY POTENTIAL CONFLICTS WITH VERTICAL AND HORIZONTAL ALIGNMENTS SHOWN ON THE PLANS. TEST PITS SHALL BE COMPLETED BY THE CONTRACTOR AT HIS EXPENSE.
2. CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 TO MARK THE LOCATION OF ALL UNDERGROUND UTILITIES AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. REMOVE/ABANDON ALL EXISTING UTILITIES REQUIRED FOR CONSTRUCTION OF SITE IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. ALL WORK SHALL BE IN ACCORDANCE WITH CUSTODIAL UTILITY COMPANY REQUIREMENTS. CONSULT WITH CUSTODIAL UTILITY COMPANY AND ENGINEER PRIOR TO ABANDONING UTILITIES.
4. ALL MATERIALS AND INSTALLATION ARE TO BE IN ACCORDANCE WITH THE TOWN OF ENFIELD, CONN. D.O.T. FORM 816, OR CUSTODIAL UTILITY COMPANY SPECIFICATION, AS APPROPRIATE.
5. ALL NEW SITE UTILITIES ARE TO BE INSTALLED UNDERGROUND, UNLESS INDICATED OTHERWISE.
6. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH UTILITY COMPANY APPLICABLE REQUIREMENTS. FINAL LOCATION OF UTILITY CONNECTIONS IS SUBJECT TO REVISION BY INDIVIDUAL UTILITY COMPANIES PRIOR TO THE INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK WITH THE APPLICABLE UTILITY COMPANIES.
7. FLOW LINE AND INVERT ELEVATIONS OF ALL STORM AND SANITARY SEWERS MUST BE COORDINATED WITH FINAL ARCHITECTURAL DRAWINGS. NOTIFY DESIGN ENGINEER OF CONFLICTS PRIOR TO START OF CONSTRUCTION.
8. CONNECT ALL ROOF LEADERS, FOOTING DRAINS, AND RETAINING WALL UNDERDRAINS INTO NEW STORM DRAINAGE SYSTEM.
9. WATER SERVICE AND FIRE SERVICE INSTALLATION IS TO BE COORDINATED WITH THE CONNECTICUT WATER COMPANY STAFF AND THOUSANDVILLE FIRE DEPARTMENT OFFICIALS PRIOR TO THE START OF WORK BY THE CONTRACTOR.
10. BEFORE THE WATER MAIN OR WATER SERVICE LINES ARE PLACED INTO SERVICE, THEY SHALL BE INSPECTED, FLOUSED, SANITIZED, AND TESTED AND FOUND TO BE IN COMPLIANCE WITH CONNECTICUT WATER COMPANY STANDARDS AND SPECIFICATIONS.
11. ALL WORK ON THE SANITARY SEWER SHALL BE IN ACCORDANCE WITH THE TOWN OF ENFIELD WATER POLLUTION CONTROL AUTHORITY.
12. BEFORE THE SANITARY SEWER SYSTEM IS PLACED INTO SERVICE, IT IS TO BE INSPECTED, TESTED AND FOUND TO BE IN COMPLIANCE WITH THE TOWN REGULATIONS.
13. ALL WORK RELATED TO GAS, ELECTRIC, TELEPHONE AND COMMUNICATION SERVICE SHALL BE IN ACCORDANCE WITH THE CUSTODIAL UTILITY COMPANY STANDARDS AND SPECIFICATIONS.
14. HYDRODYNAMIC SEPARATOR STRUCTURES SHALL CONFORM TO TORMECOR MODEL AS DEPICTED ON PLANS. CONTACT RINKER MATERIALS, 69 NECK ROAD, WESTFIELD, MA 413-562-8547.
15. WHEN TRENCHING IS REQUIRED IN TOWN R.O.W., BACKFILL AND COMPACT FILL AND CONSTRUCT PAVEMENT REPAIR IN ACCORDANCE WITH TOWN OF ENFIELD STANDARDS AND SPECIFICATIONS.
16. COORDINATE PLACEMENT OF TRANSFORMER WITH NU OFFICIALS.
17. RCP = REINFORCED CONCRETE PIPE (CLASS IV OR V AS SHOWN ON THE PLANS) CONFORMING TO CT DOT FORM 816, M.08.01-6.
18. PVC DRAIN PIPE = SCH. 40 PVC PIPE CONFORMING TO CT DOT FORM 816, M.08.01-28.
19. CPE = CORRUGATED POLYETHYLENE PIPE CONFORMING TO CT DOT 816, M.08.01-25, TYPE S.
20. CATCH BASINS, MANHOLES, AND OTHER DRAINAGE STRUCTURES SHALL CONFORM TO CONN. D.O.T. FORM 816 SECTION M.08.02.
21. WATER MAIN, WATER SERVICE PIPING, FITTINGS, VALVES, HYDRANTS, CORPORATIONS, ETC. SHALL CONFORM TO CONNECTICUT WATER COMPANY STANDARDS AND SPECIFICATIONS.
22. ALL WATER AND FIRE MAIN AND SERVICE PIPING SHALL BE ANSI/AWWA C151/A21.51 C.L.D.P. CLASS 52, UNLESS OTHERWISE SPECIFIED. ALL WATER SERVICE SHALL HAVE A MINIMUM COVER OF 4 1/2 FEET.
23. ALL WATER AND FIRE SERVICE FITTINGS AND VALVES SHALL BE MECHANICAL JOINT AND SHALL BE RESTRAINED USING JOINT RETAINER GLANDS, AND CONCRETE THRUST BLOCKS, UNLESS OTHERWISE SPECIFIED. ALL VALVES SHALL OPEN LEFT.
24. PVC SAN. SEWER PIPE = SDR 35 PVC PIPE W/ PUSH-ON GASKETED JOINTS.
25. DIP = CLASS 52 DUCTILE IRON PIPE.
26. ALL SANITARY SEWER PIPES, FITTINGS, MANHOLES AND ACCESSORIES SHALL CONFORM TO TOWN OF ENFIELD WATER POLLUTION CONTROL AUTHORITY STANDARDS AND SPECIFICATIONS.
27. GRIT/OIL SEPARATOR MATERIALS AND INSTALLATION TO MEET ALL CT DEP CRITERIA.
28. EXTERNAL GREASE TRAP TO MEET TOWN OF ENFIELD PUBLIC WORKS SPECIFICATIONS AND CT PUBLIC HEALTH CODE REQUIREMENTS.
29. THE SEWER SYSTEM SHALL CONFORM TO TOWN OF ENFIELD, SUBDIVISION REGULATIONS, REVISED AS OF FEBRUARY 12, 2002, AND ON THE TOWN OF ENFIELD PUBLIC WORKS DEPARTMENT DRAWINGS TITLED TYPICAL DETAILS I, II AND III.
30. WPC SHALL BE NOTIFIED 24 HOURS IN ADVANCE FOR ALL INSPECTIONS REQUIRED FOR INSTALLATION OF SEWER SYSTEM(S). PLEASE CALL 860-253-6450 - IF NO ONE IS THERE, PLEASE LEAVE A MESSAGE.



Files W #520 & PH #2675

F. A. Hesketh & Associates, Inc.
6 Creamery Brook East Granby, CT 06026
Phone (860) 653-6000 • Fax (860) 644-8800 • Phone (910) 692-3356
www.fahsketh.com • fahsketh@aol.com



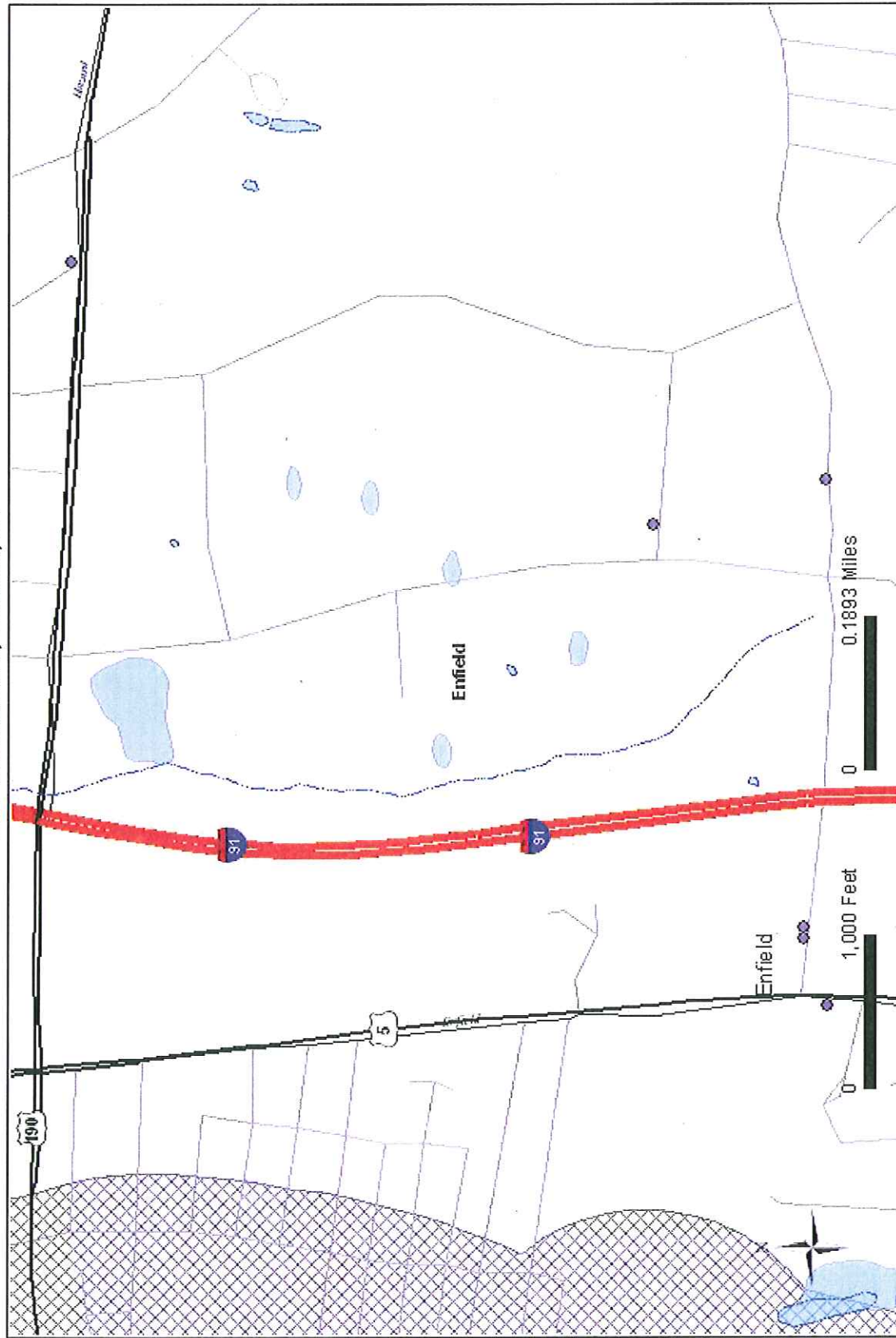
No.	Date	Description
1	04-27-09	Town comments
2	05-28-09	Town comments
3	07-01-09	Town comments
4	07-24-09	Town comments
5	09-09-09	Town comments

UTILITY PLAN
THOMPSONVILLE
FIRE DEPARTMENT
PEARL, PROSPECT & ASHUNTUCK STREETS
ENFIELD, CONNECTICUT


Drawn by: CAD Job no: 08161
Checked by: DSZ Sheet no: 1 OF 1
Date: 04-09-09
Scale: 1" = 20'

UT-1

90 Phoenix Ave, Enfield, CT



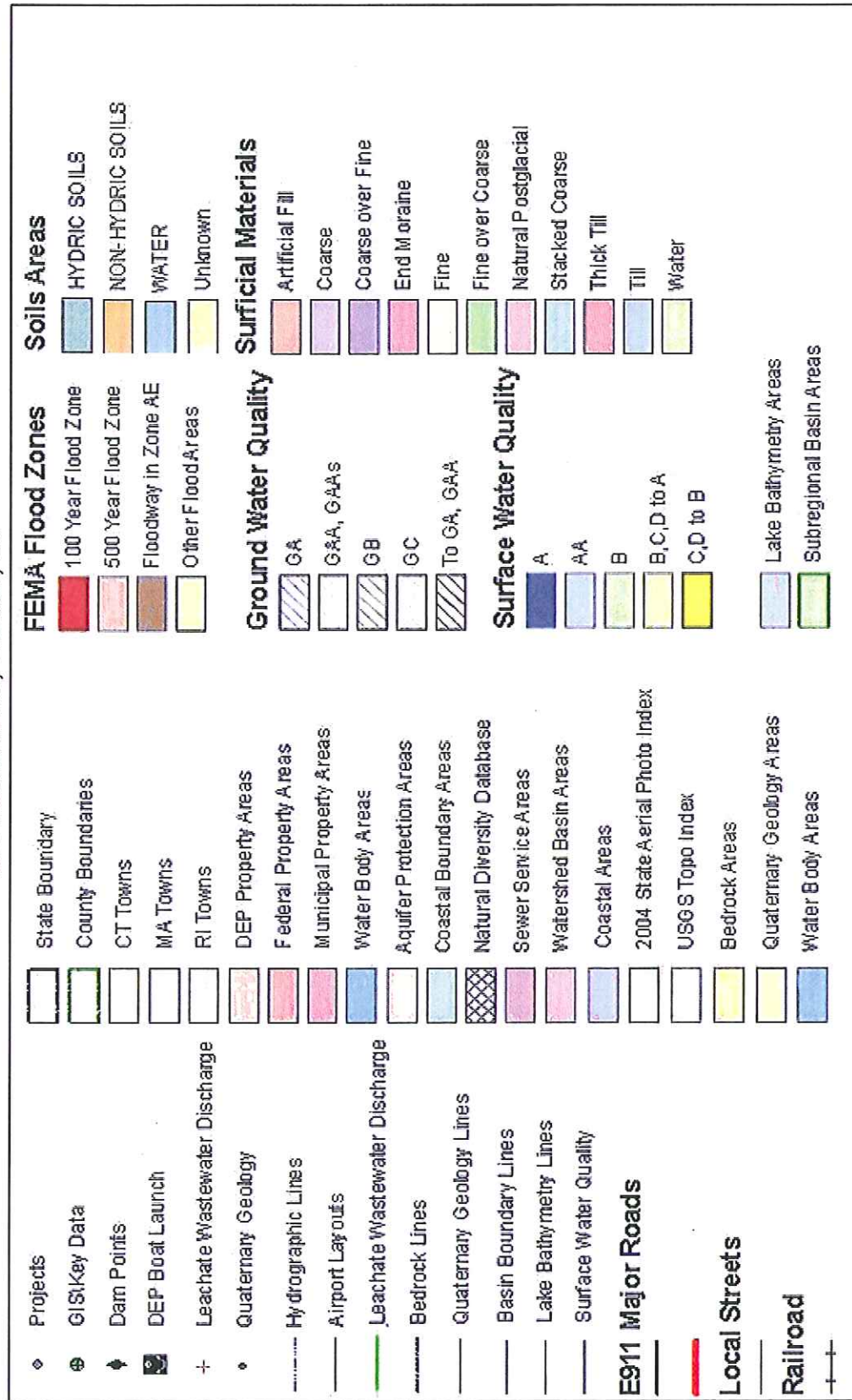
See page 2 for Legend and Disclaimer

 Fuss And O'Neill Technologies, LLC

9/8/2009

Page 1 of 2

90 Phoenix Ave, Enfield, CT



The data contained on this web site has varying levels of accuracy and some of the data is more recent than others. Please review the "About our Data" link to get more information about each of the data sources. All data are believed to have been substantially accurate as of the date(s) created and/or as of the date(s) acquired.



Fuss And O'Neill Technologies, LLC

TOWN OF ENFIELD
INLAND WETLANDS & WATERCOURSES AGENCY
PERMIT APPLICATION & CHECKLIST

PART A



All applications for regulated activities shall include the following information:

___ A. Applicant's name: STEPHEN M. COGTELLA

___ B. Applicant's address: 1 SOUTH RIVER ST
ENFIELD, CT 06082

___ C. Applicant's phone number: 860 916-1774

___ D. Applicant's interest in the property:
OWNER OF PROPERTY

___ E. Landowner's name: /

___ F. Landowner's address: /

SAME AS ABOVE

___ G. Landowner's telephone number: /

___ H. Written consent (dated and signed) from the landowner that expresses his knowledge of and consent to the application if the landowner is not the applicant.

___ I. The total calculated area (in square feet) of wetlands and watercourses on the subject property: 1,800 square feet.

___ J. The total calculated area (in square feet) of regulated area that would be disturbed by the proposed regulated activities (include regulated areas that provide access to and ample space to work around the regulated activities): 1,800 square feet.

___ K. Submission of the appropriate application fee based on the fee schedule established in Section 19 of the regulations.

___ L. Written narrative of sufficient detail that sets forth the purpose and a description of the proposed activity and alternatives considered by the applicant and why the application's proposal to alter the wetlands or watercourse was chosen.

- ____ M. A location map at a scale of 1 inch = 2,000 feet identifying the geographical location of the property involved.
- ____ N. A map at a scale of 1 inch = 100 feet identifying the geographical location of the property to be affected by the proposed activity, adjacent lands, adjacent regulated areas, such upstream and downstream areas as may be identified by the Agency or its designated agent, and other pertinent features including, but not limited to, existing and proposed property lines, roads and drives, existing buildings and their utilities, topography, soil types from the published soil survey, the limits of inland wetlands, watercourses and conservation buffer areas, existing and proposed lands protected as open space or by private conservation easements, and types of vegetative cover.
- ____ O. A site plan at 40' scale that provides sufficient detail showing existing and proposed conditions, including maximum building areas, in relation to regulated areas and measures proposed to mitigate the potential environmental impacts.
- ____ P. A title block and legend of symbols used for each plan or map indicated the name of the project, landowner and applicant, name and signature of the person preparing the plan or map, date prepared and subsequent revision dates and scale.
- Q. Certification as to each of the following:
- ____ (1) Is any portion of the wetland or watercourse (on which the regulated activity is proposed) located within 500 feet of the boundary of an adjoining municipality?
✓ Yes No ____
Name of Town(s): TOWN OF ENFIELD
- ____ (2) Will traffic (attributable to either construction activities or to the completed project on the site) use streets within the adjoining municipality to enter or exit the site?
✓ Yes No ____
Name of Town(s): TOWN OF ENFIELD
- ____ (3) Will sewer or water drainage from the project site flow through and affect the sewage or drainage system within the adjoining municipality? ____ Yes No ✓
Name of Town(s): _____
- ____ (4) Will water runoff from the improved site affect streets or other municipal or private property within the adjoining municipality? ____ Yes No ✓
Name of Town(s): _____
- ____ R. If yes to the aforementioned question Q.(1), then provide documentation (copy of return receipts) that the applicable adjacent municipal wetland agencies were duly notified pursuant to the regulations.
- ____ S. Copy of the STATEWIDE INLAND WETLAND ACTIVITY REPORTING FORM (attached) with all applicable sections completed by the applicant.

- ____ T. Names and addresses of abutting property owners as shown in the records of the tax assessor of the municipality as of a date no earlier than thirty (30) days before the date the application is submitted.
- ____ U. Any other information the Agency or its designated agent deems necessary for the review and evaluation of the application.
- ____ V. Does this application include any regulated activity in a Floodplain?
- ☐ Yes – Please fill out Development Permit for Flood Hazard Areas
- ☒ No – Proceed to next question.

____ Certification By Applicant

By my (our) signatures, I (we) hereby certify that:

- i. the applicant(s) is (are) familiar with all of the information provided in the application and is (are) aware of the penalties for obtaining a permit by deception or by inaccurate or misleading information; and
- ii. the Agency members and their designated agents are authorized to inspect the property, at reasonable times, both before and after a final decision has been issued, and after completion of the project.

SIGNATURE(S) OF APPLICANT(S):

DATE:

Stephen M. Costello

9/5/2009



CONNECTICUT DEPARTMENT OF
ENVIRONMENTAL PROTECTION
79 Elm Street
Hartford, CT 06106-5127

Arthur J. Rocque, Jr., Commissioner

GIS CODE #:
For DEP Use Only

Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete this form in accordance with the instructions. Please print or type.

PART I: To Be Completed By The Inland Wetlands Agency Only

1. DATE ACTION WAS TAKEN: Year _____ Month _____
2. ACTION TAKEN: _____
3. WAS A PUBLIC HEARING HELD? Yes _____ No _____
4. NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

5. TOWN IN WHICH THE ACTION IS OCCURRING: ENFIELD, CT 06082
Does this project cross municipal boundaries? Yes _____ No ☒
If Yes, list the other town(s) in which the action is occurring: _____
6. LOCATION: USGS Quad Map Name: ENFIELD AND Quad Number: 13
Subregional Drainage Basin Number: 4003
7. NAME OF APPLICANT, VIOLATOR OR PETITIONER: STEPHEN M. COITELLA
8. NAME & ADDRESS/LOCATION OF PROJECT SITE: 2 SOUTH RIVER ST. ENFIELD, CT 06082
Briefly describe the action/project/activity: CLEARING OF EXCESSIVE VEGETATION
9. ACTIVITY PURPOSE CODE: H
10. ACTIVITY TYPE CODE(S): 3, 6, _____, _____
11. WETLAND / WATERCOURSE AREA ALTERED [must be provided in acres or linear feet as indicated]:
Wetlands: 0 acres Open Water Body: 0 acres Stream: 0 linear feet
12. UPLAND AREA ALTERED [must be provided in acres as indicated]: 0 acres
13. AREA OF WETLANDS AND / OR WATERCOURSES RESTORED, ENHANCED OR CREATED: .04 acres
[must be provided in acres as indicated]

DATE RECEIVED

PART III: To Be Completed By The DEP

DATE RETURNED TO DEP

FORM COMPLETED: YES NO

FORM CORRECTED/COMPLETED: YES NO

NARRATIVE

To: Inland Wetlands and Watercourses Committee

From: 
Stephen M. Cogtella

Subject: Clearing of vegetation along Freshwater Brook

Date: September 5, 2009

My name is Steve Cogtella , an owner and resident of property located at 2 South River Street in Enfield, CT. The property is bordered by other Cogtella property to the North, Freshwater Brook to the South, Connecticut River to the West, and South River St. to the East. I am a lifelong resident of Enfield and resided on this property my entire life. I am a former member of the Thompsonville Revitalization Strategy Committee during the early 90's. As a committee member I shared my experiences of life in Thompsonville, particularly along the Riverfront. My goals as a land owner and resident are to continually make improvements to existing structures and landscape to enhance the beauty of the waterfront.

The purpose of this request is to clear heavily uncontrolled vegetation on the southern boundary along freshwater brook. The area that I'm requesting approval to clear is located centrally along the boundary and is approximately 100 feet in length. The bank is approximately 18 feet in height at the location specified, therefore the total area is about 1,800 square feet.

This request would not have been necessary if I had better maintained the property, and not allowed uncontrolled growth of vegetation and vines continue for several decades. Some may say this is the course of nature and that is the way things suppose to be. I disagree because there are times when nature needs to be controlled and this is unequivocally one of those times. My primary motivation to clear this area is to enhance the beauty of the waterfront, but not the most important for consideration. There are standing pools of water along the brook in this area and virtually no sunlight, creating an infestation of mosquitoes and possible health issue. It is important to keep in mind this is a residential lot and not a wildlife sanctuary like Fannie Stebbins or the Quabbin Reservoir.

The broken tree top resting in the water with tangled vines acts as a net catching all types of debris, currently a car bumper, diverting water from its natural course creating erosion along the bank that would not normally occur.

From a Risk Management standpoint, I believe it is important to consider someone getting injured or killed from the broken tree with limbs hanging from tangled vines.

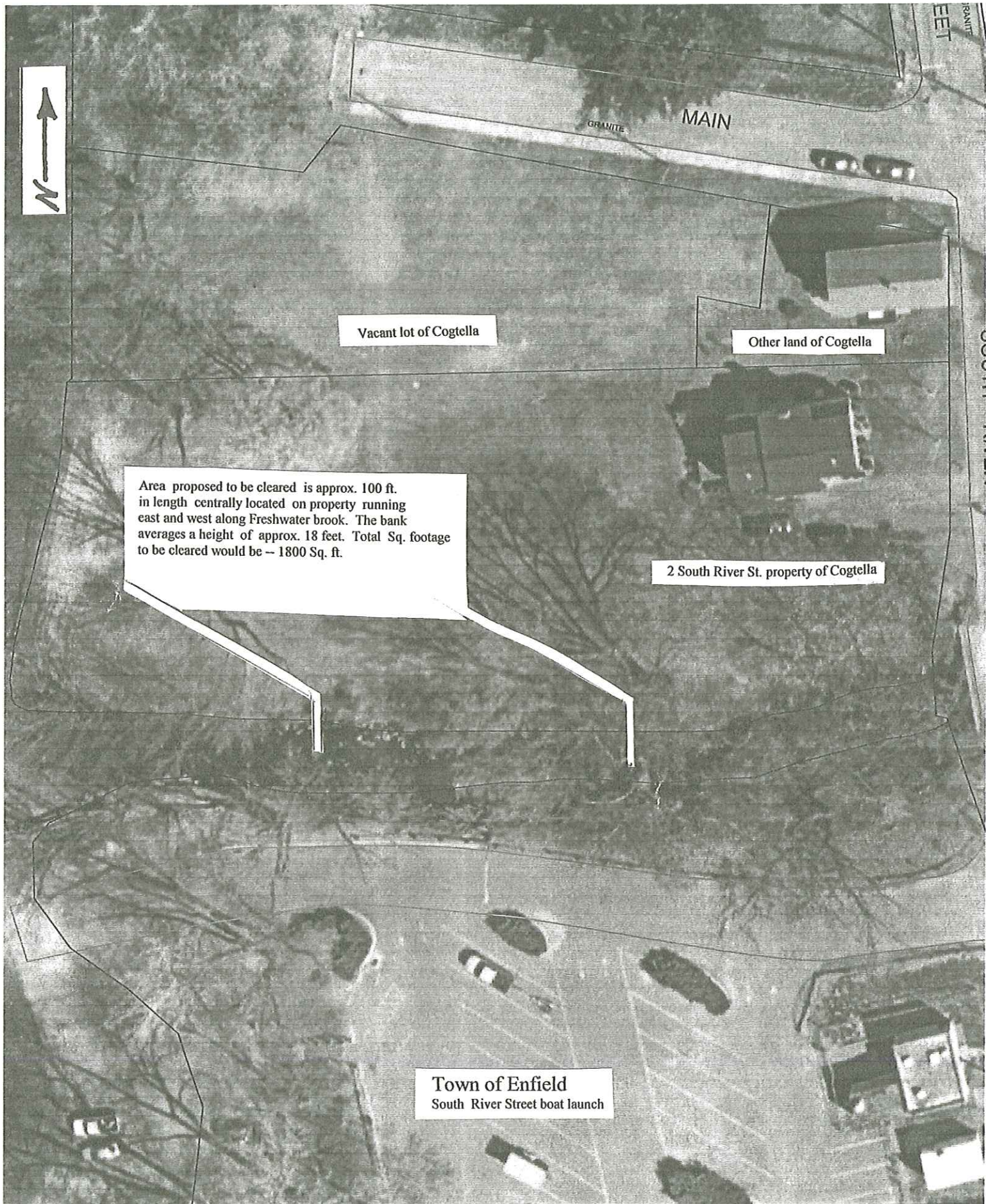
Many children access this area because water is low most of the year. I would not want to see an accident happen, when action could have been taken to prevent it. Both, myself and the Town of Enfield can be the litigants of a lawsuit.

I would proceed by hiring a contractor that specializes in land clearing. All vegetation cleared would be chipped or cut, removed from the premises and disposed of by the contractor.

To preserve the bank and limit any possible erosion, roots of all vegetation cut will remain. It is my experience that most vegetation will regenerate itself by the remaining roots. However, during this interim period it is my intent to plant two red maples or river birch, along with a variety of shrubs. I am concerned with erosion, but I think it is unlikely to occur. The majority of the bank is made up of concrete blocks, asphalt and gravel. Prior to this vegetation, erosion was never a problem.

A major concern is the control of Japanese knotweed, an excellent example of why we need to control nature. During the 19th century Japanese knotweed was a landscaping plant, now it's an out of control weed. I will control the knotweed by removing it along with its roots, bag it up, and burn it. Although knotweed can grow just about anywhere, I don't think it will take off as a result of removing this vegetation. Soil composition is very friable in this location for knotweed to easily generate. I will uproot the knotweed while the plants are small.

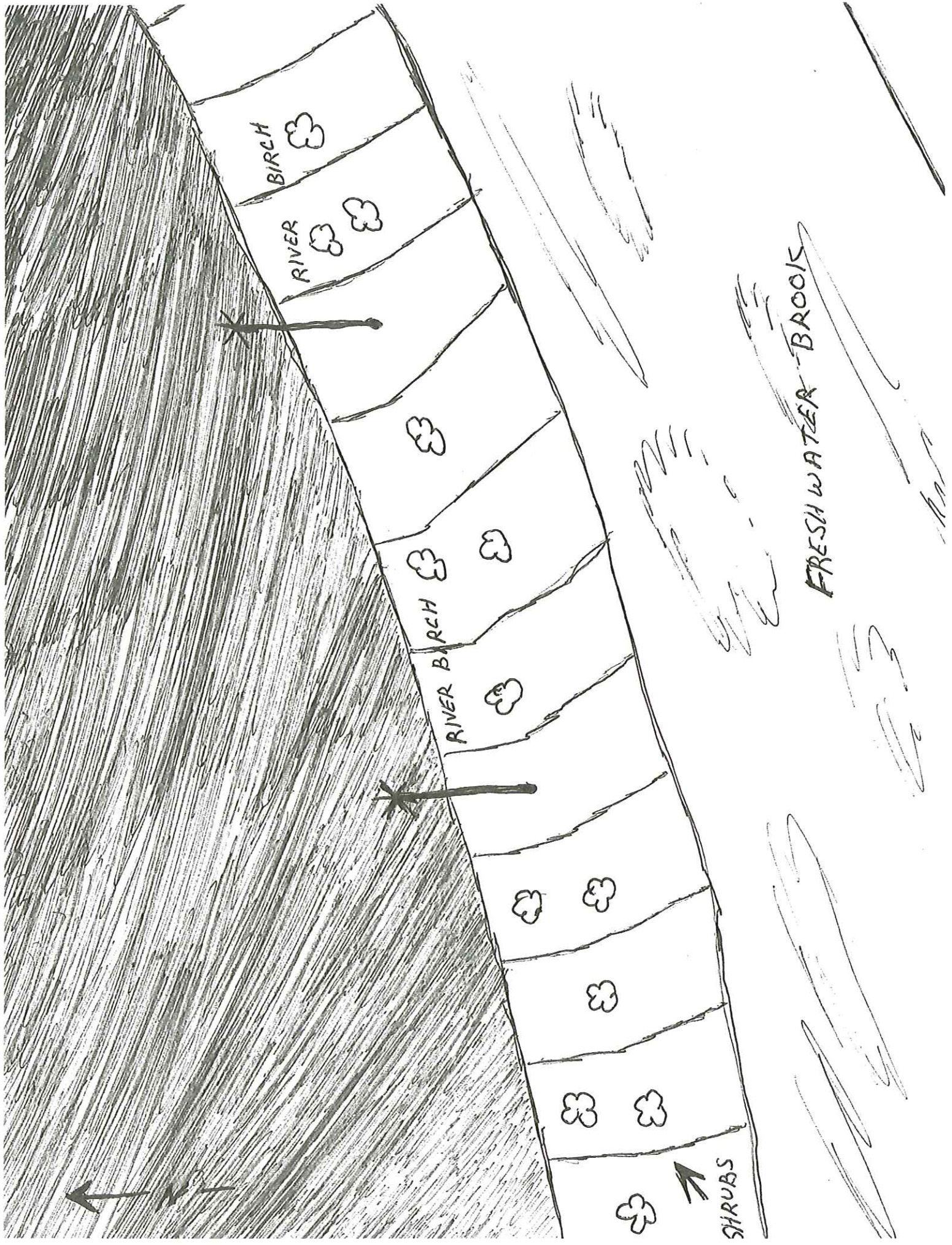
Please contact me if you have any further questions regarding this matter.



Town of Enfield, Connecticut

Geographic Information System

The Town of Enfield disclaims all representations or warranties regarding information on this website, including but not limited to express or implied warranties, representations or conditions of merchantability, fitness for a particular purpose, non-infringement



FRESH WATER BROOKS

SHRUBS

RIVER BIRCH

RIVER

BIRCH

1W527
09012003

**Application to
Enfield Inland Wetlands and
Watercourses Agency**

**Applicant and Owner
Hanover Hall Limited Partnership
700 Summer Street, Suite 100
Stamford, CT 06902**

Resubdivision of 90 Phoenix Avenue

September 8, 2009



146 Hartford Road
Manchester, CT 06040

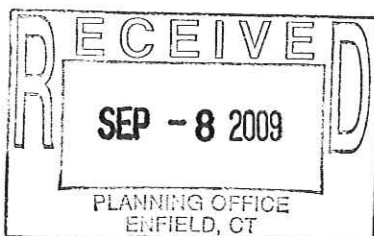


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Application to Enfield Inland Wetlands and Watercourses Agency Resubdivision of 90 Phoenix Avenue

- A. Enfield IWWC Application
- B. CTDEP Reporting Form
- C. CTDEP NDDDB Review
- D. Stormwater Calculations and Drainage Area Map
- E. Project Narrative
- F. Wetlands Delineation Report

Appendix A

Enfield IWWC Application

Map 46
Lot 37

APPENDIX A

TOWN OF ENFIELD INLAND WETLANDS & WATERCOURSES AGENCY PERMIT APPLICATION & CHECKLIST

INSTRUCTIONS:

1. The Agency and the applicant may hold a pre-application meeting to examine the scope of a proposed regulated activity or to determine if the proposed application involves a significant activity.
2. Any person intending to undertake a regulated activity shall apply for a permit by completing the applicable parts of this nine-page application form (consisting of parts A, B, C & D).
3. For the purpose of this application:
 - a. "applicant or person" means any person, persons, firm, partnership, association, corporation, company, organization or legal entity of any kind, including municipal corporation, governmental agency or subdivision thereof; and
 - b. refer to the Town's Inland Wetlands and Watercourses Regulations for further clarification and guidance with respect to the standards and criteria used for application evaluation.
4. Eleven (11) copies of all applicable completed application materials shall be submitted unless otherwise directed in writing by the Agency or its designated agent.
5. Indicate which of the following circumstances fit this application and comply with the following referenced application requirements.

CIRCUMSTANCES	CHECK	REQUIREMENTS
Application for regulated activity		Complete Part A only
Application also involves Site Plan, Subdivision, or Special Permit	X	Complete Parts A & B
Application involves a Significant Activity		Complete Parts A, B & C
Renewal or Extension for, or Amendment to an Issued Permit		Complete Part D only
Wetland Map Amendment		Complete Part E only

6. Applicant's Name: Hanover Hall Limited Partnership
7. Address or descriptive location (e.g. north side of Hazard Ave. – 1,000 feet easterly of intersection with Palomba Dr.) of proposed regulated activity:
90 Phoenix Avenue at Vision Drive
8. Title of Project: Resubdivision of 90 Phoenix Avenue

TOWN OF ENFIELD
INLAND WETLANDS & WATERCOURSES AGENCY
PERMIT APPLICATION & CHECKLIST

PART A

All applications for regulated activities shall include the following information:

- _____ A. Applicant's name: Hanover Hall Limited Partnership
- _____ B. Applicant's address: 777 Summer Street, Suite 100
Stamford, CT 06902
- _____ C. Applicant's phone number: 203-708-8525
- _____ D. Applicant's interest in the property:
Applicant is the owner of the property

- _____ E. Landowner's name: Hanover Hall Limited Partnership
- _____ F. Landowner's address: Same as applicant

- _____ G. Landowner's telephone number: 203-708-8525
- _____ H. Written consent (dated and signed) from the landowner that expresses his knowledge of and consent to the application if the landowner is not the applicant.
- _____ I. The total calculated area (in square feet) of wetlands and watercourses on the subject property: 1,866,090 square feet.
- _____ J. The total calculated area (in square feet) of regulated area that would be disturbed by the proposed regulated activities (include regulated areas that provide access to and ample space to work around the regulated activities): 33,847 square feet.
- _____ K. Submission of the appropriate application fee based on the fee schedule established in Section 19 of the regulations.
- _____ L. Written narrative of sufficient detail that sets forth the purpose and a description of the proposed activity and alternatives considered by the applicant and why the application's proposal to alter the wetlands or watercourse was chosen.

- _____ M. A location map at a scale of 1 inch = 2,000 feet identifying the geographical location of the property involved.
- _____ N. A map at a scale of 1 inch = 100 feet identifying the geographical location of the property to be affected by the proposed activity, adjacent lands, adjacent regulated areas, such upstream and downstream areas as may be identified by the Agency or its designated agent, and other pertinent features including, but not limited to, existing and proposed property lines, roads and drives, existing buildings and their utilities, topography, soil types from the published soil survey, the limits of inland wetlands, watercourses and conservation buffer areas, existing and proposed lands protected as open space or by private conservation easements, and types of vegetative cover.
- _____ O. A site plan at 40' scale that provides sufficient detail showing existing and proposed conditions, including maximum building areas, in relation to regulated areas and measures proposed to mitigate the potential environmental impacts.
- _____ P. A title block and legend of symbols used for each plan or map indicated the name of the project, landowner and applicant, name and signature of the person preparing the plan or map, date prepared and subsequent revision dates and scale.
- Q. Certification as to each of the following:
- _____ (1) Is any portion of the wetland or watercourse (on which the regulated activity is proposed) located within 500 feet of the boundary of an adjoining municipality?
_____ Yes No X
Name of Town(s): _____
- _____ (2) Will traffic (attributable to either construction activities or to the completed project on the site) use streets within the adjoining municipality to enter or exit the site?
_____ Yes No X
Name of Town(s): _____
- _____ (3) Will sewer or water drainage from the project site flow through and affect the sewage or drainage system within the adjoining municipality? _____ Yes No X
Name of Town(s): _____
- _____ (4) Will water runoff from the improved site affect streets or other municipal or private property within the adjoining municipality? _____ Yes No X
Name of Town(s): _____
- _____ R. If yes to the aforementioned question Q.(1), then provide documentation (copy of return receipts) that the applicable adjacent municipal wetland agencies were duly notified pursuant to the regulations.
- _____ S. Copy of the STATEWIDE INLAND WETLAND ACTIVITY REPORTING FORM (attached) with all applicable sections completed by the applicant.

- ____ T. Names and addresses of abutting property owners as shown in the records of the tax assessor of the municipality as of a date no earlier than thirty (30) days before the date the application is submitted.
- ____ U. Any other information the Agency or its designated agent deems necessary for the review and evaluation of the application.
Applicant Contact: Milton Mann 203-708-8500
Engineer: Phil Forzley, Fuss & O'Neill 860-646-2469 x5235
- ____ V. Does this application include any regulated activity in a Floodplain?
- ☐ Yes – Please fill out Development Permit for Flood Hazard Areas
- ☒ No – Proceed to next question.

____ Certification By Applicant

By my (our) signatures, I (we) hereby certify that:

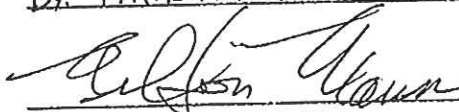
- i. the applicant(s) is (are) familiar with all of the information provided in the application and is (are) aware of the penalties for obtaining a permit by deception or by inaccurate or misleading information; and
- ii. the Agency members and their designated agents are authorized to inspect the property, at reasonable times, both before and after a final decision has been issued, and after completion of the project.

SIGNATURE(S) OF APPLICANT(S):

DATE:

HANOVER HALL LIMITED PARTNERSHIP
BY: HANOVER P.B. INC

SEPTEMBER 8, 2009


MILTON MANN
PRESIDENT

TOWN OF ENFIELD
INLAND WETLANDS & WATERCOURSES AGENCY
PERMIT APPLICATION & CHECKLIST

PART B

All applications for a regulated activity that involve a land use proposal which is also subject to site plan review, subdivision, or special permit application, may be required to contain the following additional information (as determined by the Agency or its designated agent):

- ☒ A. All wetland boundaries on the property shall be identified by a soil scientist and located by a licensed land surveyor. All wetland soil types shall be classified by the soil scientist.
- ☒ B. The soil scientist shall consecutively number the survey tapes that mark boundary lines of wetlands that will be or may be affected by the proposed activity. The survey tapes shall be located by a licensed land surveyor and each tape location and number shall be plotted onto the site plan.
- ☒ C. The soil scientist shall prepare a report that includes the name of the applicant and project, the location of and limits of the property investigated, the dates of the soil investigations, a brief soil description for each soil mapping unit investigated, the set of the consecutive numbers used on survey tapes to identify the wetland boundaries, and a certified statement that the wetland boundaries appearing on the site plan are to the best of his knowledge true and accurate.
- ☒ D. All watercourses identified on the property shall be located and identified on the site plan to the satisfaction of the Agency or its designated agent.
- ☒ E. A site plan shall be submitted at a scale of 1 inch = 40 feet, or a scale that exhibits greater detail, indicating the following: location and limits of all regulated areas; existing and proposed conditions in relation to regulated areas; location of prominent features within regulated areas such as bedrock outcrops, stone walls, trees deemed by the Agency or its agents to be of critical value and existing buildings and drives; names of abutting property owners; soil erosion and sediment control measures; any measures to detain or retain stormwater runoff or recharge groundwater; any plantings or habitat improvement; and any other measures proposed to mitigate the potential environmental impacts.
- ☒ F. A map of sufficient scale shall be submitted indicating each surficial drainage area influencing each distinct wetland area or watercourse on the property.
- ☒ G. A general written description of the physical and vegetative characteristics shall be submitted for each distinct wetland area.
- ☐ H. Any other specific information reasonably requested by the Agency or its designated agent.

Appendix B

CTDEP Reporting Form



CONNECTICUT DEPARTMENT OF
ENVIRONMENTAL PROTECTION
79 Elm Street
Hartford, CT 06106-5127

GIS CODE #: _____
For DEP Use Only

Arthur J. Rocque, Jr., Commissioner

Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete this form in accordance with the instructions. Please print or type.

PART I: To Be Completed By The Inland Wetlands Agency Only

1. DATE ACTION WAS TAKEN: Year _____ Month _____
2. ACTION TAKEN: _____
3. WAS A PUBLIC HEARING HELD? Yes _____ No _____
4. NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:
(print) _____ (signature) _____

PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

5. TOWN IN WHICH THE ACTION IS OCCURRING: Enfield
Does this project cross municipal boundaries? Yes _____ No X
If Yes, list the other town(s) in which the action is occurring: _____
6. LOCATION: USGS Quad Map Name: Broad Brook AND Quad Number: 23
Subregional Drainage Basin Number: 4003
7. NAME OF APPLICANT, VIOLATOR OR PETITIONER: Hanover Hall Limited Partnership
8. NAME & ADDRESS/LOCATION OF PROJECT SITE: 90 Phoenix Avenue
Briefly describe the action/project/activity: Subdivision of land into 2 lots
9. ACTIVITY PURPOSE CODE: D
10. ACTIVITY TYPE CODE(S): 1, 2, 12, _____
11. WETLAND / WATERCOURSE AREA ALTERED [must be provided in acres or linear feet as indicated]:
Wetlands: 0 acres Open Water Body: 0 acres Stream: 0 linear feet
12. UPLAND AREA ALTERED [must be provided in acres as indicated]: 1.5 acres
13. AREA OF WETLANDS AND / OR WATERCOURSES RESTORED, ENHANCED OR CREATED: 0 acres
[must be provided in acres as indicated]

DATE RECEIVED

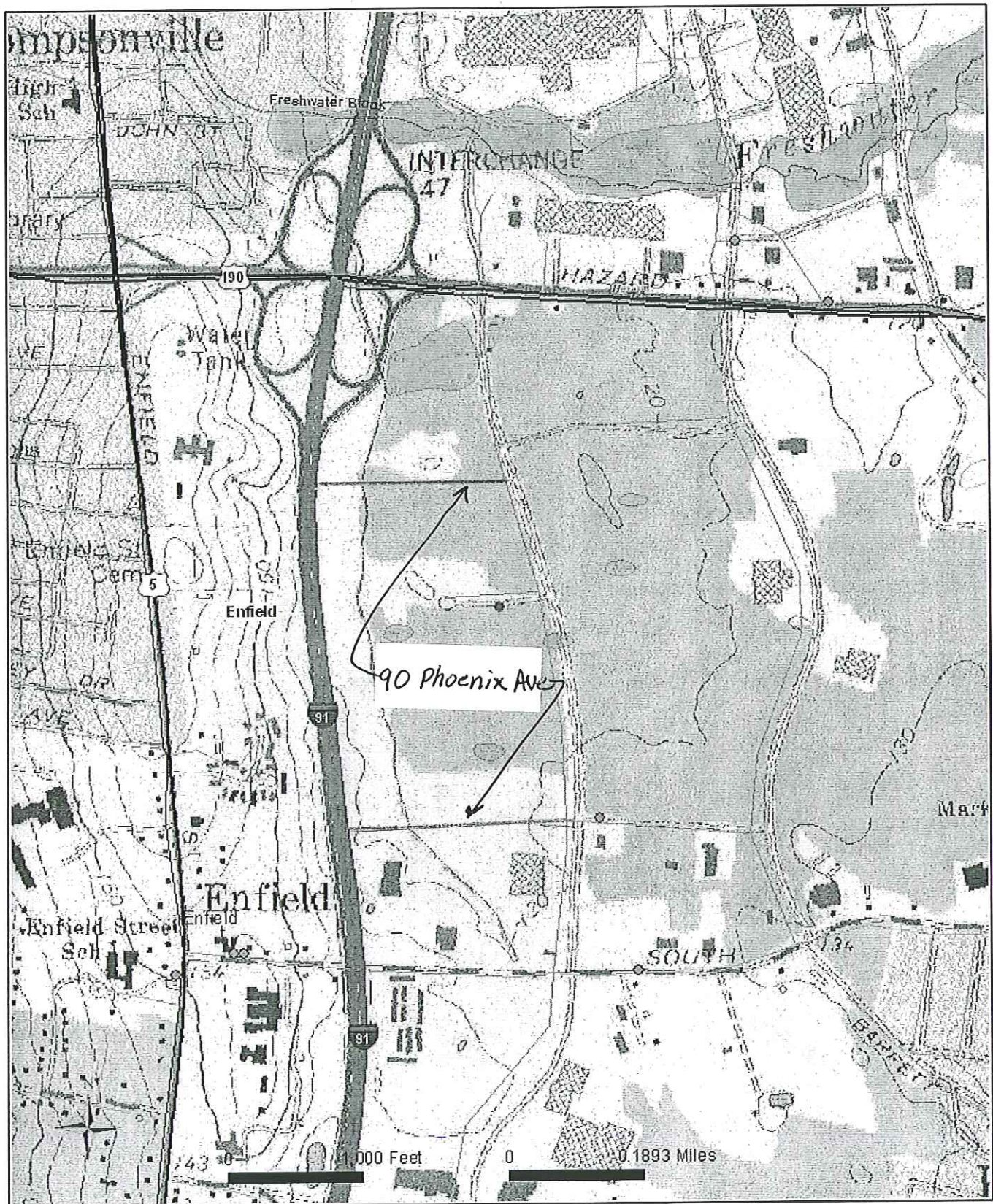
PART III: To Be Completed By The DEP

DATE RETURNED TO DEP

FORM COMPLETED: YES NO

FORM CORRECTED/COMPLETED: YES NO

Hanover Hall Limited Partnership - Location Map



See page 2 for Disclaimer and Map Legend

9/8/2009



Fuss And O'Neill Technologies, LLC

Page 1 of 2

Appendix C

CTDEP NDDB Review

Data for the Connecticut Map:

Data Layer	Obtained From	Last Updated
Imagery – 2004 State Aerial Photo Index	Connecticut Department of Environmental Protection	January 2007
Imagery – 2004 State Aerial Photos	Connecticut Department of Environmental Protection	January 2007
Imagery – USGS Topo Index	Connecticut Department of Environmental Protection	January 2007
Imagery – USGS Topo Maps	Connecticut Department of Environmental Protection	January 2007
Imagery – Historical Aerial Photo Scale Labels	University of Connecticut	January 2008
Imagery – History Aerial Photo Year Labels	University of Connecticut	January 2008
Imagery – Historical Aerial Photos	University of Connecticut	January 2008
Political Features – State Boundary	Connecticut Department of Environmental Protection	January 2007
Political Features – RI Towns	Connecticut Department of Environmental Protection	January 2007
Political Features – MA Towns	Connecticut Department of Environmental Protection	January 2007
Political Features – CT Towns	Connecticut Department of Environmental Protection	January 2007
Political Features – Municipal Property Areas	Connecticut Department of Environmental Protection	January 2007
Political Features – Federal Property Areas	Connecticut Department of Environmental Protection	January 2007
Political Features – DEP Property Areas	Connecticut Department of Environmental Protection	January 2007
Political Features – County Boundaries	Connecticut Department of Environmental Protection	January 2007
Enviro Features – Sewer Service Areas	Connecticut Department of Environmental Protection	January 2007
★ Enviro Features – Natural Diversity Database Areas	Connecticut Department of Environmental Protection	January 2007
Enviro Features – Coastal Boundary Areas	Connecticut Department of Environmental Protection	January 2007
Enviro Features – Aquifer Protection Areas	Connecticut Department of Environmental Protection	June 2008
Enviro Features – Leachate Wastewater Discharge Line	Connecticut Department of Environmental Protection	January 2007
Enviro Features – Leachate Wastewater Discharge Points	Connecticut Department of Environmental Protection	January 2007

Appendix D

Stormwater Calculations and Drainage Area Map

Job File: G:\P91\91095\V20\Drainage\1991095V20.PPW
Rain Dir: G:\P91\91095\V20\Drainage\

=====

JOB TITLE

=====

Project Date: 9/8/2009
Project Engineer: HDS
Project Title: Volume Storage Estimation
Project Comments:
General estimation of volume storage for post-development
conditions

Table of Contents

***** MASTER SUMMARY *****

Watershed..... Master Network Summary 1.01

***** DESIGN STORMS SUMMARY *****

Hartford County Design Storms 2.01

***** TC CALCULATIONS *****

EXISTING..... Tc Calcs 3.01

PROPOSED..... Tc Calcs 3.03

***** CN CALCULATIONS *****

EXISTING..... Runoff CN-Area 4.01

PROPOSED..... Runoff CN-Area 4.02

MASTER DESIGN STORM SUMMARY

Network Storm Collection: Hartford County

Return Event	Total Depth in	Rainfall Type	RNF ID
1	2.6000	Synthetic Curve	TypeIII 24hr
2	3.2000	Synthetic Curve	TypeIII 24hr
5	4.1000	Synthetic Curve	TypeIII 24hr
10	4.7000	Synthetic Curve	TypeIII 24hr
25	5.5000	Synthetic Curve	TypeIII 24hr
50	6.2000	Synthetic Curve	TypeIII 24hr
100	6.9000	Synthetic Curve	TypeIII 24hr

MASTER NETWORK SUMMARY
SCS Unit Hydrograph Method

(*Node=Outfall; +Node=Diversion;)
(Trun= HYG Truncation; Blank=None; L=Left; R=Rt; LR=Left&Rt)

Node ID	Type	Return Event	HYG Vol ac-ft	Trun	Qpeak hrs	Qpeak cfs	Max WSEL ft	Max Pond Storage ac-ft
EXISTING	AREA	1	3.409		12.1500	35.77		
EXISTING	AREA	2	5.381		12.1500	59.71		
EXISTING	AREA	5	8.758		12.1500	99.95		
EXISTING	AREA	10	11.212		12.1500	128.74		
EXISTING	AREA	25	14.668		12.1500	168.71		
EXISTING	AREA	50	17.824		12.1500	204.73		
EXISTING	AREA	100	21.076		12.1500	241.39		
*EXISTING	JCT	1	3.409		12.1500	35.77		
*EXISTING	JCT	2	5.381		12.1500	59.71		
*EXISTING	JCT	5	8.758		12.1500	99.95		
*EXISTING	JCT	10	11.212		12.1500	128.74		
*EXISTING	JCT	25	14.668		12.1500	168.71		
*EXISTING	JCT	50	17.824		12.1500	204.73		
*EXISTING	JCT	100	21.076		12.1500	241.39		

MASTER NETWORK SUMMARY
SCS Unit Hydrograph Method

(*Node=Outfall; +Node=Diversion;)
(Trun= HYG Truncation: Blank=None; L=Left; R=Rt; LR=Left&Rt)

Node ID	Type	Return Event	HYG Vol ac-ft	Trun	Qpeak hrs	Qpeak cfs	Max WSEL ft	Max Pond Storage ac-ft
PROPOSED	AREA	1	3.642		12.1500	39.19		
PROPOSED	AREA	2	5.680		12.1500	63.85		
PROPOSED	AREA	5	9.143		12.1500	104.94		
PROPOSED	AREA	10	11.647		12.1500	134.16		
PROPOSED	AREA	25	15.160		12.1500	174.56		
PROPOSED	AREA	50	18.361		12.1000	211.21		
PROPOSED	AREA	100	21.653		12.1000	249.18		
*PROPOSED	JCT	1	3.642		12.1500	39.19		
*PROPOSED	JCT	2	5.680		12.1500	63.85		
*PROPOSED	JCT	5	9.143		12.1500	104.94		
*PROPOSED	JCT	10	11.647		12.1500	134.16		
*PROPOSED	JCT	25	15.160		12.1500	174.56		
→ *PROPOSED	JCT	<u>50</u>	<u>18.361</u>		12.1000	<u>211.21</u>		
*PROPOSED	JCT	100	21.653		12.1000	249.18		

50 year storm

Post Devel. = 18.361 ac-ft

Pre Devel. = -17.824 ac-ft

Δ 0.537 ac-ft of required storage

Type.... Design Storms
Name.... Hartford County

Page 2.01

File.... G:\P91\91095\V20\Drainage\1991095V20.ppw

Title... Project Date: 9/8/2009
Project Engineer: HDS
Project Title: Volume Storage Estimation
Project Comments:
General estimation of volume storage for
post-development conditions

DESIGN STORMS SUMMARY

Design Storm File, ID = Hartford County

Storm Tag Name = 1

Data Type, File, ID = Synthetic Storm TypeIII 24hr
Storm Frequency = 1 yr
Total Rainfall Depth= 2.6000 in
Duration Multiplier = 1
Resulting Duration = 24.0000 hrs
Resulting Start Time= .0000 hrs Step= .1000 hrs End= 24.0000 hrs

Storm Tag Name = 2

Data Type, File, ID = Synthetic Storm TypeIII 24hr
Storm Frequency = 2 yr
Total Rainfall Depth= 3.2000 in
Duration Multiplier = 1
Resulting Duration = 24.0000 hrs
Resulting Start Time= .0000 hrs Step= .1000 hrs End= 24.0000 hrs

Storm Tag Name = 5

Data Type, File, ID = Synthetic Storm TypeIII 24hr
Storm Frequency = 5 yr
Total Rainfall Depth= 4.1000 in
Duration Multiplier = 1
Resulting Duration = 24.0000 hrs
Resulting Start Time= .0000 hrs Step= .1000 hrs End= 24.0000 hrs

Storm Tag Name = 10

Data Type, File, ID = Synthetic Storm TypeIII 24hr
Storm Frequency = 10 yr
Total Rainfall Depth= 4.7000 in
Duration Multiplier = 1
Resulting Duration = 24.0000 hrs
Resulting Start Time= .0000 hrs Step= .1000 hrs End= 24.0000 hrs

Type.... Design Storms
Name.... Hartford County

Page 2.02

File.... G:\P91\91095\V20\Drainage\1991095V20.ppw

Title... Project Date: 9/8/2009
Project Engineer: HDS
Project Title: Volume Storage Estimation
Project Comments:
General estimation of volume storage for
post-development conditions

DESIGN STORMS SUMMARY

Design Storm File, ID = Hartford County

Storm Tag Name = 25

Data Type, File, ID = Synthetic Storm TypeIII 24hr
Storm Frequency = 25 yr
Total Rainfall Depth= 5.5000 in
Duration Multiplier = 1
Resulting Duration = 24.0000 hrs
Resulting Start Time= .0000 hrs Step= .1000 hrs End= 24.0000 hrs

Storm Tag Name = 50

Data Type, File, ID = Synthetic Storm TypeIII 24hr
Storm Frequency = 50 yr
Total Rainfall Depth= 6.2000 in
Duration Multiplier = 1
Resulting Duration = 24.0000 hrs
Resulting Start Time= .0000 hrs Step= .1000 hrs End= 24.0000 hrs

Storm Tag Name = 100

Data Type, File, ID = Synthetic Storm TypeIII 24hr
Storm Frequency = 100 yr
Total Rainfall Depth= 6.9000 in
Duration Multiplier = 1
Resulting Duration = 24.0000 hrs
Resulting Start Time= .0000 hrs Step= .1000 hrs End= 24.0000 hrs

Type.... Tc Calcs

Page 3.01

Name.... EXISTING

File.... G:\P91\91095\V20\Drainage\1991095V20.ppw

.....
TIME OF CONCENTRATION CALCULATOR
.....

Segment #1: Tc: TR-55 Sheet

Mannings n .0400
Hydraulic Length 100.00 ft
2yr, 24hr P 3.2000 in
Slope .023000 ft/ft

Avg.Velocity .52 ft/sec

Segment #1 Time: .0536 hrs

Segment #2: Tc: TR-55 Shallow

Hydraulic Length 643.00 ft
Slope .014000 ft/ft
Unpaved

Avg.Velocity 1.91 ft/sec

Segment #2 Time: .0936 hrs

=====
Total Tc: .1472 hrs
=====

Type.... Tc Calcs
Name.... EXISTING

Page 3.02

File.... G:\P91\91095\V20\Drainage\1991095V20.ppw

Tc Equations used...

==== SCS TR-55 Sheet Flow =====

$$Tc = (.007 * ((n * Lf)**0.8)) / ((P**.5) * (Sf**.4))$$

Where: Tc = Time of concentration, hrs
n = Mannings n
Lf = Flow length, ft
P = 2yr, 24hr Rain depth, inches
Sf = Slope, %

==== SCS TR-55 Shallow Concentrated Flow =====

Unpaved surface:

$$V = 16.1345 * (Sf**0.5)$$

Paved surface:

$$V = 20.3282 * (Sf**0.5)$$

$$Tc = (Lf / V) / (3600\text{sec/hr})$$

Where: V = Velocity, ft/sec
Sf = Slope, ft/ft
Tc = Time of concentration, hrs
Lf = Flow length, ft

Type.... Tc Calcs
Name.... PROPOSED

Page 3.03

File.... G:\P91\91095\V20\Drainage\1991095V20.ppw

::
TIME OF CONCENTRATION CALCULATOR
::

Segment #1: Tc: TR-55 Sheet

Mannings n .0400
Hydraulic Length 100.00 ft
2yr, 24hr P 3.2000 in
Slope .030000 ft/ft

Avg.Velocity .58 ft/sec

Segment #1 Time: .0482 hrs

Segment #2: Tc: TR-55 Shallow

Hydraulic Length 614.00 ft
Slope .013000 ft/ft
Unpaved

Avg.Velocity 1.84 ft/sec

Segment #2 Time: .0927 hrs

=====
Total Tc: .1409 hrs
=====

Type.... Tc Calcs

Page 3.04

Name.... PROPOSED

File.... G:\P91\91095\V20\Drainage\1991095V20.ppw

Tc Equations used...

==== SCS TR-55 Sheet Flow =====

$$Tc = (.007 * ((n * Lf)**0.8)) / ((P**.5) * (Sf**.4))$$

Where: Tc = Time of concentration, hrs
n = Mannings n
Lf = Flow length, ft
P = 2yr, 24hr Rain depth, inches
Sf = Slope, %

==== SCS TR-55 Shallow Concentrated Flow =====

Unpaved surface:
 $V = 16.1345 * (Sf**0.5)$

Paved surface:
 $V = 20.3282 * (Sf**0.5)$

$$Tc = (Lf / V) / (3600sec/hr)$$

Where: V = Velocity, ft/sec
Sf = Slope, ft/ft
Tc = Time of concentration, hrs
Lf = Flow length, ft

Type.... Runoff CN-Area

Page 4.01

Name.... EXISTING

File.... G:\P91\91095\V20\Drainage\1991095V20.ppw

RUNOFF CURVE NUMBER DATA

.....

Soil/Surface Description	CN	Area acres	Impervious Adjustment		Adjusted CN
			%C	%UC	
Impervious Areas - Paved parking lo	98	.800			98.00
Open space (Lawns,parks etc.) - Fai	79	1.800			79.00
Woods - fair	73	63.100			73.00

COMPOSITE AREA & WEIGHTED CN ---> 65.700 73.47 (73)
.....

Type.... Runoff CN-Area

Page 4.02

Name.... PROPOSED

File.... G:\P91\91095\V20\Drainage\1991095V20.ppw

RUNOFF CURVE NUMBER DATA

.....

Soil/Surface Description	CN	Area acres	Impervious Adjustment %C %UC	Adjusted CN
Impervious Areas - Paved parking lo	98	1.400		98.00
Open space (Lawns,parks etc.) - Fai	79	2.700		79.00
Woods - fair	73	61.600		73.00

COMPOSITE AREA & WEIGHTED CN ---> 65.700 73.78 (74)
.....

Index of Starting Page Numbers for ID Names

----- E -----
EXISTING... 3.01, 4.01

----- H -----
Hartford County... 2.01

----- P -----
PROPOSED... 3.03, 4.02

----- W -----
Watershed... 1.01

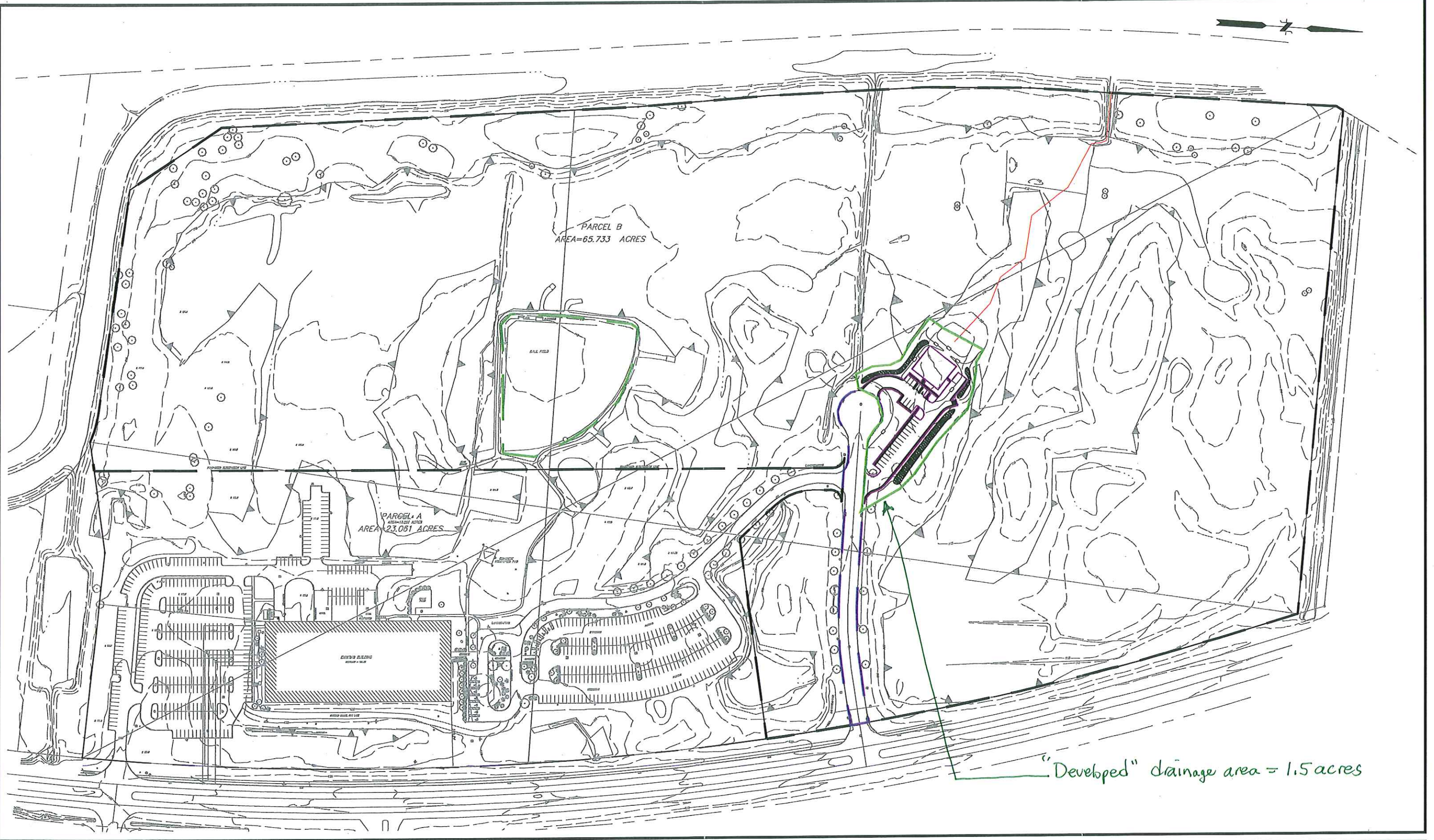
File Path: J:\DWG\p191095431\Plan191095431_DRA01.dwg, Layout: DRA-1 Tue, Sep 08, 2009 - 12:29 PM User: HSullivan

CTB: COLOR

LWAN: PROPOSED


MS VIEW: MS200SC

UCS: ROT



		PROJ. MANAGER:	
		CHIEF DESIGNER:	
		REVIEWED BY:	DATE
1.	DATE	DESCRIPTION	BY
No.			
REVISIONS			

SCALE:
HORZ: 1" = 200'
VERT:
DATUM:
HORZ:
VERT:
0 100 200
GRAPHIC SCALE

 **FUSS & O'NEILL**
Disciplines to Deliver
146 HARTFORD RD MANCHESTER, CT 06040 860.646.2469
WWW.FandO.COM

OVERALL WATERSHED MAP
HANOVER HALL LIMITED PARTNERSHIP
90 PHOENIX AVENUE
ENFIELD CONNECTICUT

PROJ. No: 1991 095 V20
DATE: 9/8/2009
DRA-1

Appendix E

Project Narrative



FUSS & O'NEILL

**Narrative Prepared for Hanover Hall Limited Partnership
Subdivision of 90 Vision Drive, Enfield, CT
September 8, 2009**

Applicant and Owner

Hanover Hall Limited Partnership
700 Summer Street, Suite 100
Stamford, CT 06902
Contact: Milton Mann, Esq. (203) 708-8500

Engineer-Surveyor

Fuss & O'Neill
146 Hartford Road
Manchester, CT 06040
Contact: Phil Forzley, PE, LEED-AP, (860) 646-2469 x5235

Proposed Activities

Hanover Hall Limited Partnership (Applicant and Owner) proposes to subdivide 90 Vision Drive, which currently consists of approximately 89 acres. Approximately 23 acres of land are proposed to remain with the existing office building, and one new 66 acre lot will be created. The property is in the I-P zone, and is served by public water (CT Water Company) and sewer (Town of Enfield).

Vision Drive is currently, and is proposed to remain, privately owned. Vision Drive will be included in the proposed lot. The existing office building will have rights to pass over and maintain Vision Drive, as indicated in the accompanying plan set.

No development is currently planned for the new parcel. As required by the Planning and Zoning Commission, however, an office building and associated parking and utilities are proposed for the new parcel to demonstrate that the parcel being created is developable. A 5,000 square foot office building, which is an allowed use and has the minimum floor area required in the I-P zone, is depicted in the mapping.

Wetlands Data

The total amount of wetlands on the property is 1,866,090 acres. No wetland or watercourse disturbance is proposed. Approximately 3,847 acres of Regulated Activity (work within 100 feet of wetlands and watercourses) is proposed.

As required by the Town during a June 8, 2009 pre-application meeting, inland wetlands have been delineated by a certified soil scientist, located by field survey mapped for the area of the proposed activities depicted in the drawings. The remaining wetland limits are from a delineation conducted in 1991, and that appear in site plans that were reviewed and approved

by the Town. A narrative that provides the information required by the Town's Inland Wetlands and Watercourses Agency is provided separately.

Open Space

The Applicant has offered to donate the new parcel of land to the Town of Enfield, and the Town has declined that offer. In lieu of open space, for purposes of this application, the Applicant proposes a Conservation Restriction in the northern portion of the property. This area abuts a wetland mitigation area on other land to the north, and therefore creates a larger contiguous land area that cannot be disturbed, and that provides similar purposes as land dedicated as open space. Approximately 8.9 acres, or slightly more than 10% of the total land area, is proposed to be covered by the Conservation Restriction.

Alternatives

Alternative designs for more intensive development of regulated areas have been prepared by the applicant. The design depicted herein is for a building that is the minimum size allowed by zoning.

Stormwater Management

The stormwater system for the existing building and related parking are not proposed to be modified. The proposed building and parking are designed to discharge stormwater runoff in a sheet flow manner into a stone or gravel shoulder for energy dissipation. Runoff would then flow into stormwater quality swales and basins. Adequate storage volume to compensate for increased discharge flow rates that will result from development of the site is proposed. Calculations are provided separately. The swales and basins will provide stormwater quality improvement prior to discharge to the receiving wetlands. No direct (piped) discharges of stormwater into the wetlands are proposed.

The proposed design will minimize soil erosion, provide stormwater quality improvement and detain stormwater flows prior to release into the receiving wetlands, which are part of a large wetland system.

The property is not within a 100-year floodplain.

Applicant Statements

The Applicant is familiar with the information provided in the land use applications, and is aware of the penalties for obtaining a permit by deception or by inaccurate or misleading information.

The Town Inland Wetlands and Watercourses Agency and Planning and Zoning Commission, and their designated Agents, are authorized to inspect the property before and after a final decision is made and after completion of the project. The Applicant requests that they be notified prior to inspections, so that the current site tenant may be notified in advance for security reasons.

No portion of the wetland or watercourse on which the regulated activity is



proposed is located within 500 feet of the boundary of an adjoining municipality.

Neither sewer flows nor water drainage from the project site will flow thorough and affect the sewage or drainage system within adjoining municipalities.

Stormwater runoff from the improved site will not affect streets or other municipal or private property within adjoining municipalities.

Appendix F

Wetlands Delineation Report



MEMORANDUM

TO: Phil Forzley

FROM: Marilee Gonzalez

DATE: September 8, 2009

RE: Wetland and Watercourse Delineation
Hanover Hall Limited Partnership – Resubdivision of 90 Vision Drive
Enfield, Connecticut

On August 20, 2009 I conducted an on-site wetland and watercourse delineation on the northern portion of Vision Drive in Enfield, Connecticut. The area of investigation was limited to an area within approximately 500 feet of the existing Vision Drive cul-de-sac,

The purpose of this investigation was to determine the inland wetland and watercourse limits at the Site and specifically within the are of investigation. To prepare for this field investigation, the following current literature and mapping were reviewed:

- USGS 7.5 Minute Topographic Mapping (Broad Brook, CONN. 1984)
- NRCS Web Soil Survey (Release 1.1) (<http://websoilsurvey.nrcs.usda.gov/>)
- Environmental GIS Data for Connecticut (CTDEP, 2003)
- Keys to Soil Taxonomy (USDA, 2003)
- Soil Survey Manual (USDA, 1993)
- Site mapping from Fuss & O'Neill, Inc.

A wetland soil, regulated under the Connecticut Inland Wetland and Watercourses Act, is, in general, defined as a soil that is saturated to within 20 inches of the surface during a portion of the growing season. These soils have redoximorphic features, a deficiency of oxygen near the surface, and/or ponded water during the growing season. They are poorly drained, very poorly drained, alluvial, or fluvial as specified by the USDA Natural Resource Conservation Service (NRCS). Depth to seasonal high water table is determined by low-chroma mottling or wetness indicators

Watercourses are also regulated under the Connecticut Inland Wetland and Watercourses Act. Watercourses are rivers, streams, brooks, waterways, lakes, ponds, marshes, swamps, bogs, and all other bodies of water including natural or artificial, vernal or intermittent, public or private. A defined permanent channel and bank, and the occurrence of two or more of the following characteristics delineate intermittent watercourses:

- Evidence of scour or deposits of recent alluvium or detritus



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- Presence of standing or flowing water for a duration longer than a particular storm incident
- Presence of hydrophytic vegetation

Wetlands were delineated in accordance with the Connecticut Inland Wetland and Watercourses Act (CGS 22a-36 et seq).

The Site is located on the north side of Vision Road, the east of side of Interstate 95 and west side of Phoenix Avenue. The south portion of the Site is occupied by a cul-de-sac and open field. The central portion of the Site is occupied woodland. The remaining portions of the Site are occupied by a wetland and associated watercourse. A map depicting the wetland area and watercourse identified on the Site is attached. A more detailed description of the wetland and watercourse observed at the Site is provided below:

Wetland A and Associated Unnamed Watercourse

Bordering the southern side of the Site is an unnamed stream, which was delineated as a man-made perennial watercourse. Wetland flags A100 to A110 delineate the northern limits of the unnamed stream and wetland flags A111 to A152 delineate the southern limits of the wetland.

Soils observed in the wetland areas consisted of a silty clay loam with oxidized rhizospheres and a dense, platy structure. The soil matrix consisted of a dark A horizon overlying a depleted B horizon. The NRCS mapping identified soil in this area to be occupied by Walpole sandy loam and Scitico, Shaker, and Maybid Soil, which are soils that are poorly drained that are usually found in depressions and drainage ways. Field observations of the soils in this area were generally consistent with NRCS mapping.

The hydrology of the wetlands is attributed to runoff from Vision Drive and Phoenix Avenue and groundwater discharge. The wetlands appeared to be disturbed with invasive species. Vegetation observed within the wetland areas consisted of red maple (*Acer rubrum*), common reed (*Phragmites australis*), multiflora rose (*Rosa multiflora*), low bush blueberry (*Vaccinium angustifolium*), poison ivy (*Toxicodendron radicans*), and true forget-me-nots (*Myosotis scorpioides* L.). Standing water was observed in the northern portions of the wetlands. At some locations no standing water or soil saturation was observed; however, hydric soils were observed.

The wetland areas appeared to be slightly disturbed by human activities. Wetland A and the unnamed watercourse were assessed for primary and secondary functions and values. Wetland A provides a primary function of groundwater discharge and recharge and secondary function of flood flow alteration and limited production export functions.



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The proposed site development plan currently consists of a 5,025 square foot one-story building with associated parking areas. I was asked to review these proposed site plans to determine the impact of construction on this property to the adjacent wetlands. Upon review of these proposed site plans it does not appear that the proposed structure will have a direct impact on the wetlands. Minimal indirect impacts to the wetlands may be caused by stormwater runoff from the building and paved surfaces; however, these impacts can be managed through proper stormwater management techniques. While the infiltration of stormwater to soil is unlikely due to the low permeability of the existing soil on site, other methods of stormwater management are available. Water quality swales and/or stormwater wetlands would provide short term water storage and treatment of stormwater before discharge to the surrounding wetlands and watercourse.

Certification Statement

The wetland flagging conducted on August 20, 2009 and the depiction of those wetland flags on site plans dated August 28, 2009 are to the best of my knowledge true and accurate.